

A building permit is required in the Town of Milton for creating an Accessory Dwelling Unit (ADU). If you are new to the process or are uncertain of the Town of Milton's permit application process /requirements, please consult the [Building Permit](#) page on our website or contact the Development Services Department - Building Division at (905) 878-7252 ext. 2397. This guide explains the requirements for submitting a building permit application for an ADU in greater detail.

### **Zoning Requirements:**

Under the Zoning By-law, up to three ADUs may be permitted on an urban residential lot containing a detached, semi-detached, semi-link, or townhouse dwelling with connection to municipal water and wastewater services. The ADU may be located within the principal dwelling or within an accessory building located on the same lot.

Zoning By-law 016-2014, as amended, applies in the Town's urban area. The following sections of the by-law apply to ADUs:

- Section 4.10 applies to all ADUs
- Section 4.2.2.2 applies to detached garages containing an ADU
- Section 4.2.5 applies to accessory buildings, other than detached garages, containing an ADU
- Sections 4.3, 4.4, 4.5, and 4.6 contain regulations for decks, porches, balconies, and HVAC units for accessory buildings containing an ADU
- Section 4.19.5 contains general encroachment regulations applicable to the principal building as well as specific regulations for accessory buildings containing an ADU
- Section 5.6.2 contains general residential driveway regulations and minimum parking space size requirements for lots with ADUs
- Section 5.8.1 Table 5E contains minimum parking space requirements for residential uses, including ADUs

The Zoning By-law can be found on the [Zoning](#) page on our website. For more information please contact the Zoning Department at (905) 878-7252 ext. 2329 or [zoning@milton.ca](mailto:zoning@milton.ca).

### **Building Permit Application Requirements:**

Building permit applications are broken down into 2 major requirements;

- Permit Application Forms
- Construction Drawings

Complete building permit applications are accepted digitally only at <https://permits.milton.ca/citizenportal/app/login> For any ADU general inquiry or revision to an existing ADU file contact Permit Administration at 905-878-7252 ext. 2397 The cost of the building permit and required application forms can be found on the [Building Permit](#) page on our website. Building permit fees are payable by cash, cheque or debit at the time of application. Building permit fees include the review of drawings and all required inspections.



# Accessory Dwelling Units

## BUILDING PERMIT APPLICATION GUIDE

Revised: Jan 2026

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### Permit Application Forms

#### 1) [Application for a Permit to Construct or Demolish](#)

All sections of the form must be completed, including the full legal description for the property, filled in on the permit application form, (which can be found on your deed, tax assessment, survey, or is available once a property is selected during permit submission upload on the Public Portal).

#### 2) [Schedule 1 Designer Form](#)

This form is required when someone other than an Architect or Licensed Professional Engineer is taking responsibility for the design of the Secondary Suite. This person would be either:

- the homeowner taking legal responsibility for the design, provided they understand and are willing to take responsibility for the applicable requirements of the Ontario Building Code, or
- a registered designer with a Building Code Identification Number (BCIN) qualified in House or Small Buildings

### Construction Drawings

All drawings must be submitted in a format conforming to the Town of Milton's [Digital Submission Guidelines](#), drawn to an appropriate scale (min 3/16"=1' or metric equivalent), and clearly legible. Drawings in pencil shall be photocopied prior to submission, with the density adjusted so that all information is clear and legible. All walls must be drawn as double lines (accurately showing wall thickness), and drawings must clearly differentiate between existing and proposed construction. Every page of the drawings shall include the project address and the following designer information:

Homeowner design	- printed name of homeowner, signature and date
Qualified BCIN design	- printed name, individual/firm (if applicable) BCIN numbers, signature and date
Architect or Professionally Engineered design	- Architect's or Professional Engineer's seal with a signature and date

The following construction drawings are required for an ADU:

#### 1) Site Plan

#### 2) Existing Floor Layouts

#### 3) Proposed Floor Layouts including Egress Plan

#### 4) Elevations showing Secondary Suite Entrance, Egress/Escape Window locations, new exterior or enlarged existing exterior openings

#### 5) Sections and Wall/Ceiling/Fire Separation Construction Details

when exterior window or door openings are added/enlarged or the ADU does not have a door on the floor level with direct access to the exterior please refer to [Building Permit](#) for [Egress/Escape window requirements](#).

### Inspection Requirements:

Typical ADU inspections can include (depending on the scope of work):

- Framing
- Insulation & Air Barrier
- Underground Plumbing, Above Ground Plumbing and Final Plumbing
- Heating Rough-in and Final Heating
- Final Building

Inspections are booked by calling the Building Division at (905) 878-7252 ext. 2396 or online by using our [Online Building Inspection Request](#) form.

### BUILDING-SPECIFIC DESIGN REQUIREMENTS

REQUIREMENTS	BUILDING CONDITION	
	A Less than 5 years since occupancy	B 5 years or more since occupancy
<b>FLOOR FIRE SEPARATION</b> (continuous)		
Permitted Floor Fire Resistance Rating (FRR)	30 min – Continuous smoke tight barrier, min. 5/8” type X gypsum board req’d- See acceptable assemblies in OBC SB-3	
	15 min - when interconnected smoke alarms are provided between both suites	
Permitted Floor Sound Rating (STC)	The floor assembly will be required to achieve an STC of 43 or meets the construction outlined in Compliance Alternative C181: <ul style="list-style-type: none"> <li>• Joist spaces filled with sound-absorbing material of not less than 150mm nominal thickness</li> <li>• Having a resilient channel on one side of the separation spaced 400 or 600mm o.c.</li> <li>• Having not less than 12.7mm thick gypsum board on ceilings</li> </ul> <b>NOTE:</b> Milton will not be enforcing an STC on floor assemblies previously constructed under a Town issued, inspected and closed building permit	
<b>WALL FIRE SEPARATION</b> (continuous)		
Permitted Wall Fire Resistance Rating (FRR)	30 min	
Permitted Door Fire Protection Rating (FPR) (Note: door requires a self-closing device)	20 min	
Permitted Wall Sound Rating (STC)	The wall assembly will be required to achieve an STC of 43 or meets the construction outlined in Compliance Alternative C181: <ul style="list-style-type: none"> <li>• Stud spaces are filled with sound-absorbing material</li> <li>• Having a resilient channel on one side of the separation spaced 400 or 600mm o.c.</li> </ul>	



# Accessory Dwelling Units

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		<b>NOTE:</b> Milton will not be enforcing an STC on wall assemblies previously constructed under an approved permit	
<b>SUPPORTING STRUCTURE</b>			
Permitted Fire Resistance Rating (FRR) for load bearing walls, beams, and columns		Same as Floor FRRs	
<b>HVAC SYSTEMS</b>			
Duct type Smoke Detector		<p>Must be installed in return air duct system and will completely turn off fuel and electrical supply to the heating system upon activation if existing furnace serves both dwelling units</p> <p><b>NOTE:</b> For purpose-built houses with an ADU, a separate HVAC systems/heating methods will be required so that no air from one unit is recirculated into another.</p>	
<b>REQUIREMENTS</b>		<b>BUILDING CONDITION</b>	
		<b>A</b> Less than 5 years since occupancy	<b>B</b> 5 years or more since occupancy
<b>SMOKE &amp; CARBON MONOXIDE ALARMS</b> (general requirements only, additional requirements may apply)			
Interconnection between dwelling units		May be required based on Floor FRR (see above)	
Smoke Alarm Locations		<p>Smoke alarms are required:</p> <ul style="list-style-type: none"> <li>on every floor level without a sleeping room</li> <li>on every floor level with a sleeping room in a central location/hallway serving a bedroom</li> <li>in every bedroom</li> <li>in all common areas.</li> <li>All new ADU's, shall have a visual signaling component</li> </ul> <p>All smoke alarms within a dwelling unit shall be interconnected so that the activation of any one smoke alarm causes all smoke alarms within the house with a secondary suite to sound.</p>	
Carbon Monoxide Alarm Locations		<p>Carbon monoxide alarms are required:</p> <ul style="list-style-type: none"> <li>on every floor level without a sleeping room</li> <li>on every floor level with a sleeping room in a central location/hallway serving a bedroom or adjacent to each sleeping room</li> <li>in a sleeping room where the room shares a wall or ceiling assembly with a room containing a fuel-burning appliance or flue, a storage garage or an attic space that is also adjacent to the garage</li> <li>the existing carbon monoxide alarms shall be upgraded to the current code requirements</li> </ul> <p>All carbon monoxide alarms within a dwelling unit shall be interconnected and wired so that the initiation of alarms in one unit will alarm all within the house with a secondary suite.</p>	



# Accessory Dwelling Units

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FURNACE ROOM SEPARATIONS		
Duct type Smoke Detector	All ADU's which utilize a shared furnace shall have a duct type smoke detector installed in the cold air return plenum.	
MINIMUM WINDOW AREA	Buildings less than 5 years	Buildings greater than 5 years
Living and Dining Rooms	10% of area served	5% of area served
Bedrooms and other Finished Rooms	5% of area served	2.5% of area served
CEILING HEIGHT (Minimum)		
All Rooms	Ceiling heights in <i>secondary suites</i> shall be not less than 1.95 m but clear heights under beams and ducting in <i>secondary suites</i> shall be not less than 1.85 m	

### GENERAL DESIGN REQUIREMENTS

DOOR SIZES (Minimum)	Minimum Width	Minimum Height
Dwelling Unit Entrance or Utility Room	32"	78"
Bedroom or Rooms not mentioned elsewhere	30"	
Bathroom, Washroom, and Walk-in closets	24"	

ROOM SIZES - Separate Spaces	Min. ft <sup>2</sup>	ROOM SIZES - Combined	Min. ft <sup>2</sup>
Living Room	145	Living Room (> 1 bedroom)	145
Dining Room	75	Living Room (1 bedroom)	118
Kitchen (> 1 bedroom)	45	Dining Room	35
Kitchen (1 Bedroom only)	40	Kitchen (> 1 bedroom)	45
Master Bedroom (with closet)	95	Kitchen (1 bedroom)	40
Master Bedroom (without closet)	105	Bedrooms	45
Other Bedroom (with closet)	65		
Other Bedroom (without closet)	75	ROOM SIZES - Bachelor	Min.ft <sup>2</sup>
Bathroom	Sufficient space for fixtures	Living, Dining, Bedroom and Kitchen	145

### Laundry Facilities:

Each unit shall have access to common laundry facilities or have connections within each unit for the connection of laundry appliances

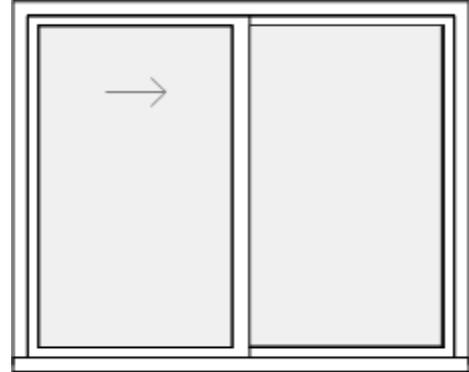
**Note:** These design tips do not cover all of the requirements for ADUs. The person taking responsibility for the design should refer to the 2024 Ontario Building Code for a detailed listing of all requirements.

### Calculating Window Area:

Window area required as per the Building Specific Design Requirements must be calculated by taking the rough opening size of the window and subtracting any non-glazing components

Accurate area calculations or manufacturer specifications must be provided with your building permit application.

**Note:** Shaded area represents glazing area



### Fire Separations in Furnace Rooms:

Due to the difficulty of installing a continuous fire separation on the ceilings of furnace rooms serving two dwelling units, Table 11.4.3.4.A of the Ontario Building Code allows the fire separation to be waived where the spaces are sprinklered.

Where a continuous fire separation is not achievable, **Option A** or **Option B** (listed below) provide acceptable options to achieve compliance.

The Town of Milton understands that the installation of sprinklers may not be feasible where a water service into a home may not be adequately sized without updating the entirety of the system.

### Option A: Installation of a sprinkler head(s) in furnace room location

A single sprinkler loop conforming to our *Example of a Full Flow Through Sprinkler System* (see next page) may be installed in the furnace room when a continuous fire separation cannot be achieved due to obstructions.

System Components:

- Piping materials include: copper (Type L) & cross-linked polyethylene pipe fittings (PEX) certified to CAN/CSA-B137.5
- Listed residential sprinklers shall be used (manufacturer spec. sheets must be retained on-site)

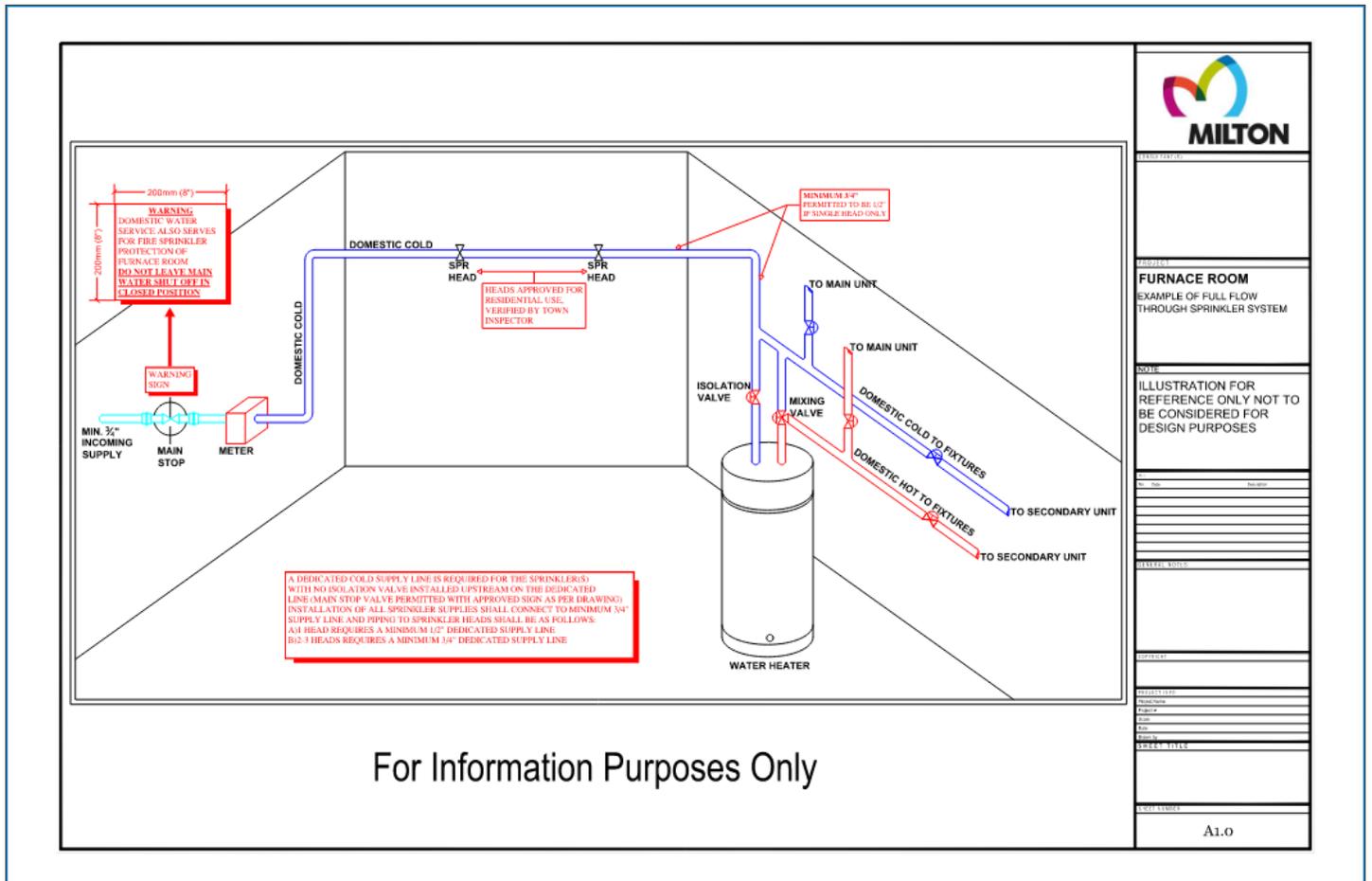
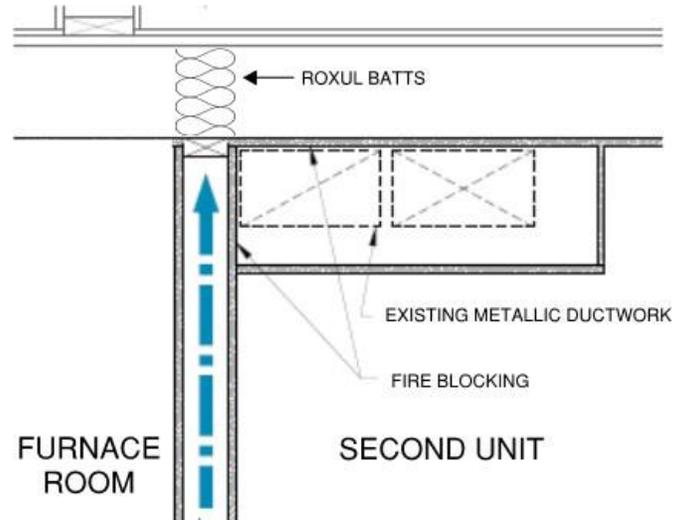
Design Requirements:

- Only residential full flow through installations are permitted
- An adequate water supply shall be confirmed for the demand (min. ¾" diameter service). Complete & submit Town of Milton "[Residential Water Service Sizing Form](#)".
- No isolation valves permitted on any portion of the sprinkler service line upstream of the sprinkler head
- Warning sign min. 200mm x 200mm (8"x8") shall be installed adjacent to the main shut off valve indicating that the domestic service is also used for a fire sprinkler system and must not be left closed
- A *floor drain* is strongly recommended to be located in the vicinity of the sprinkler head

### Option B: Provide vertical fire separation around the furnace room

The furnace room must be separated from the rest of the basement unit by a fire separation with the appropriate FRR:

- 5.5" Roxul Batts must be stuffed into all open cavities that lead into the floor system
- The wall must be rated from both inside the furnace room and the unit
- A smoke alarm must be installed within the furnace room



**LOCATIONS OF SMOKE ALARMS AS PER OBC DIV. B SEC. 9.10.19.3.**

- (1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT, (a) THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS AND, (b) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED (i) IN EACH SLEEPING ROOM AND, (ii) IN A LOCATION BETWEEN THE SLEEPING ROOM AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHOULD BE LOCATED IN THE HALLWAY

- (1.1) ...WITHIN A HOUSE WITH A SECONDARY SUITE THAT CONTAINS AN INTERIOR SHARED MEANS OF EGRESS OR COMMON AREA, A SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY

**\*NEW TO THE 2024 OBC\* LOCATIONS OF CARBON MONOXIDE ALARMS AS PER OBC DIV. B SEC. 9.32.3.9A**

- (2) ...A CARBON MONOXIDE ALARM SHALL BE INSTALLED (a) ADJACENT TO EACH SLEEPING ROOM, AND (b) ON EACH STOREY WITHOUT A SLEEPING ROOM IN THE SUITE
- (4) SHALL BE INSTALLED IN EACH SLEEPING ROOM WHERE THE ROOM (b) SHARES A COMMON WALL OR FLOOR OR CEILING ASSEMBLY (i) WITH A STORAGE GARAGE, OR (ii) THAT IS ADJACENT TO AN ATTIC OR CRAWL SPACE TO WHICH THE STORAGE GARAGE IS ALSO ADJACENT

**REQUIRED GLAZING AS PER TABLE 9.7.2.3. (% BASED ON ROOM SIZE)**

ROOM	LESS THAN 5 YEARS	GREATER THAN 5 YEARS
LIV/DIN	10%	5%
BDRM 1	5%	2.5%

**SAMPLE CALCULATIONS (BASED ON SHOWN DESIGN):**

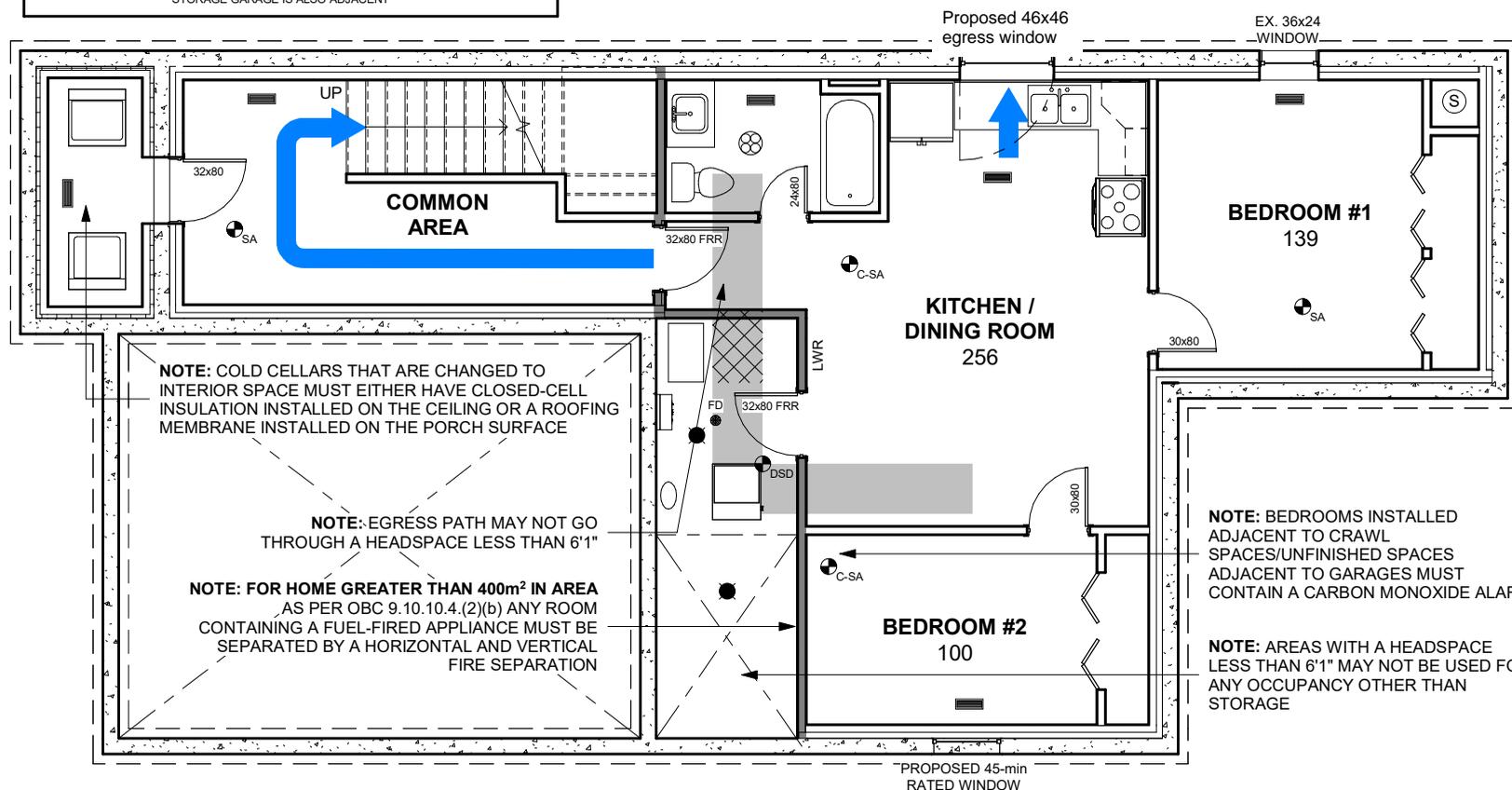
ROOM	AREA	REQ. %	REQUIRED LIGHT.	PROVIDED
LIV/DIN	256 sf	5%	12.8 sf	12.8 sf
BDRM 1	139 sf	2.5%	3.48 sf	5 sf
BDRM 2	100 sf	2.5%	2.5 sf	4.8 sf



TOWN OF MILTON, ON  
150 MARY STREET, 2nd FLOOR  
PLANNING AND DEVELOPMENT

**ADU GUIDELINE PACKAGE  
(2024 OBC UPDATE)**

**BASEMENT LAYOUT**



**NOTE:** COLD CELLARS THAT ARE CHANGED TO INTERIOR SPACE MUST EITHER HAVE CLOSED-CELL INSULATION INSTALLED ON THE CEILING OR A ROOFING MEMBRANE INSTALLED ON THE PORCH SURFACE

**NOTE:** EGRESS PATH MAY NOT GO THROUGH A HEADSPACE LESS THAN 6'1"

**NOTE:** FOR HOME GREATER THAN 400m<sup>2</sup> IN AREA AS PER OBC 9.10.10.4.(2)(b) ANY ROOM CONTAINING A FUEL-FIRED APPLIANCE MUST BE SEPARATED BY A HORIZONTAL AND VERTICAL FIRE SEPARATION

**NOTE:** BEDROOMS INSTALLED ADJACENT TO CRAWL SPACES/UNFINISHED SPACES ADJACENT TO GARAGES MUST CONTAIN A CARBON MONOXIDE ALARM

**NOTE:** AREAS WITH A HEADSPACE LESS THAN 6'1" MAY NOT BE USED FOR ANY OCCUPANCY OTHER THAN STORAGE

**NOTE:** WINDOWS INSTALLED ON ELEVATION THAT IS LESS THAN 1.2m FROM PROPERTY LINE WILL NEED SPECIFICATIONS FOR FIRE RATING PROVIDED AT APPLICATION

	LOW BEAMS AND/OR DUCTS MIN. 6'1"
	LOW HEADROOM LESS THAN 6'1"
	CARBON AND/OR SMOKE ALARMS
	DUCT-TYPE SMOKE DETECTOR INSTALLED IN SUPPLY OR RETURN AIR TO TURN OF FUEL SUPPLY & ELEC. POWER TO THE SYSTEM UPON ACTIVATION
	PROVIDE ADEQUATE SPRINKLER COVERAGE WHERE FRR IS UNABLE TO BE ACHIEVED ON CEILING (AS PER PART 11)
	LWS LOW WALL AIR SUPPLY BESIDE WALK-UP STAIR
	LWR LOW WALL RETURN AIR
	MIN. 50CFM FAN DIRECTED TO EXTERIOR AND INSULATED 4' FROM EXTERIOR
	EMERGENCY LIGHT FOR SHARED EGRESS
	SUMP PUMP LOCATION + EJECT DIRECTION

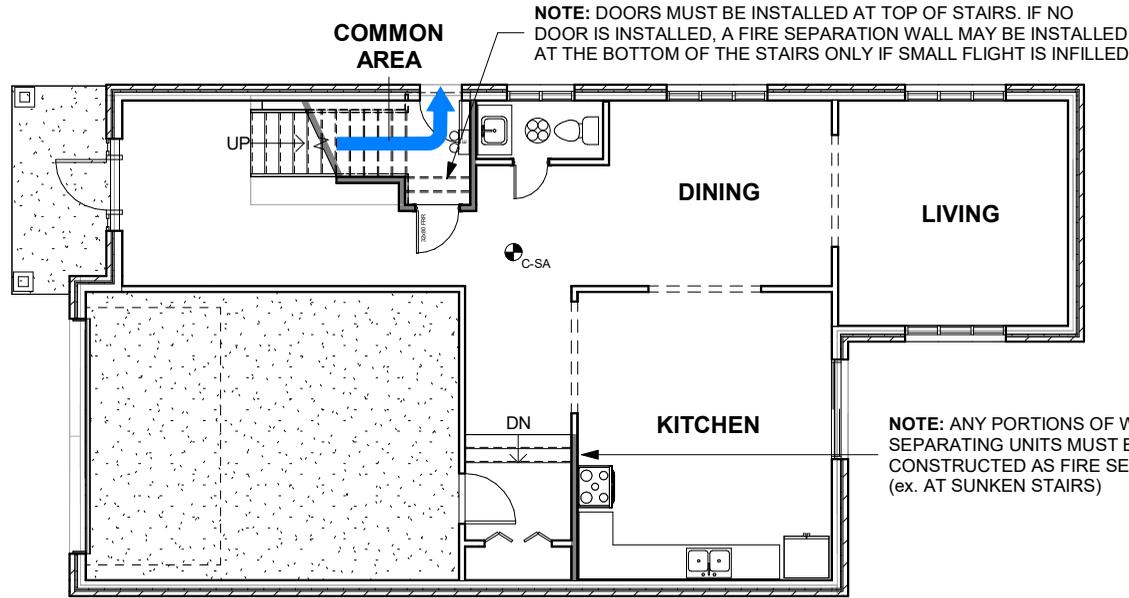
**OTHER NOTES:**

UNDERCUT ALL DOORS TO ROOMS WITHOUT R/A GRILLED FOR ADEQUATE AIR CIRCULATION (EXCLUDING DOORS WITH AN FRR)

15min. CEILINGS TO BE SUPPORTED BY COLUMNS CLAD BY 1/2" DRYWALL

45min CEILINGS TO BE SUPPORTED BY COLUMNS CLAD WITH 5/8" TYPE X DRYWALL

SEPARATE ACCESSIBLE ISOLATION VALVES TO CONTROL HOT/COLD WATER SUPPLY TO EACH UNIT MUST BE PROVIDED

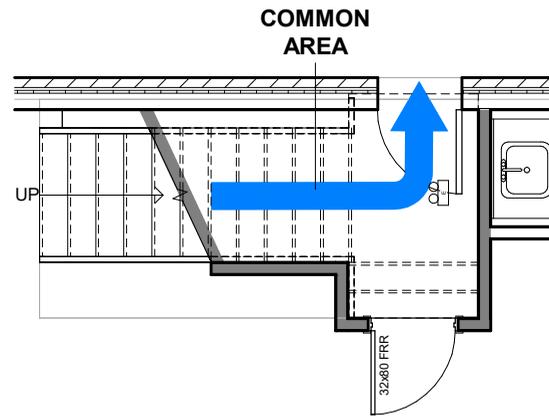


**PROPOSED FIRST FLOOR**

1/8" = 1'-0"

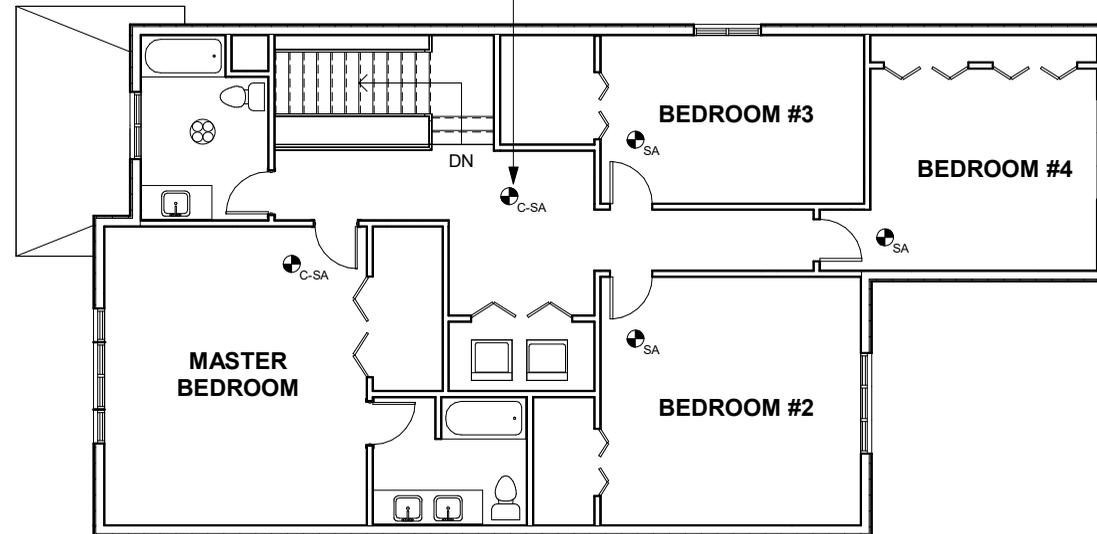
**NOTE:** ALL SMOKE ALARMS MUST BE UPDATED TO MEET CURRENT OBC REQUIREMENTS

AS PER OBC 9.32.3.9C.(1)(c)(i), ALL REQUIRED CARBON MONOXIDE ALARMS SHALL BE WIRED SO THAT ACTIVATION OF ONE CARBON MONOXIDE ALARM WITHIN A HOUSE WITH A SECONDARY SUITE WILL ACTIVATE ALL CARBON MONOXIDE ALARMS WITHIN THE HOUSE WITH A SECONDARY SUITE INCLUDING THEIR COMMON SPACES



**SIDE-DOOR EGRESS**

1/4" = 1'-0"



**EXISTING SECOND FLOOR**

1/8" = 1'-0"

**UNPROTECTED OPENINGS CALCULATIONS:  
(AS PER 9.10.15.)**

AREA: 1024 sf  
 SETBACK: 1.2m (4ft)  
 PERCENTAGE ALLOWED: 7%

OPENINGS ALLOWED: 71.68 sf  
 OPENINGS PROVIDED: 82.6 sf

ANY WINDOWS PROVIDED OVER THE  
 ALLOWABLE AMOUNT MUST BE AN  
 APPROVED 45-min FRR WINDOW



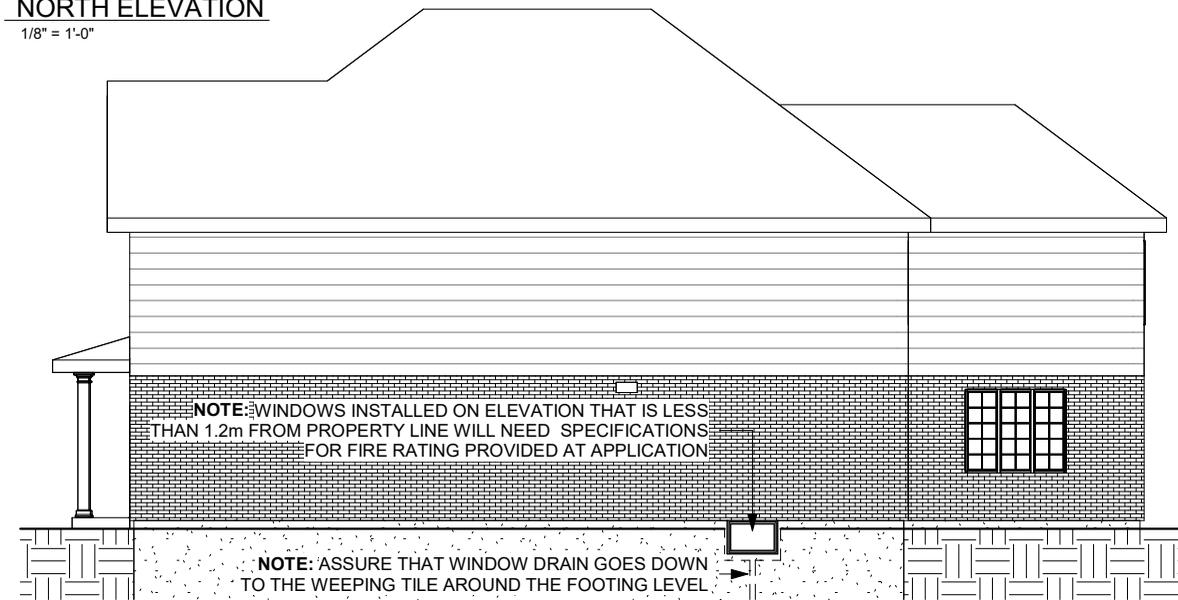
TOWN OF MILTON, ON  
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 PLANNING AND DEVELOPMENT

**ADU GUIDELINE PACKAGE  
(2024 OBC UPDATE)**

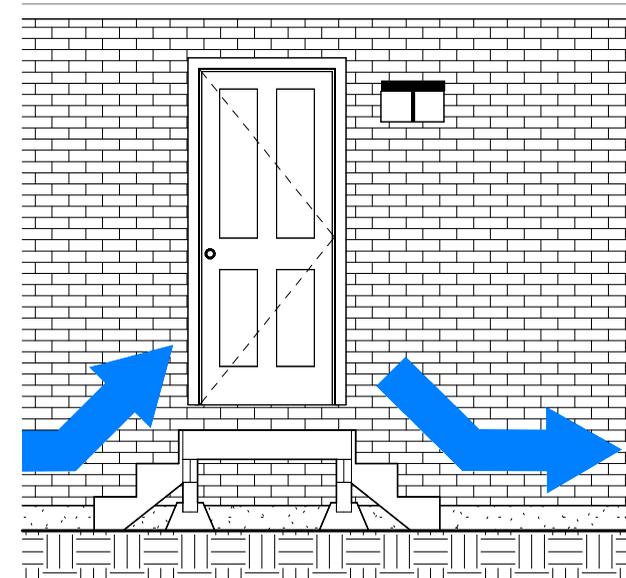
**ELEVATIONS**



**NORTH ELEVATION**  
 1/8" = 1'-0"



**SOUTH ELEVATION**  
 1/8" = 1'-0"



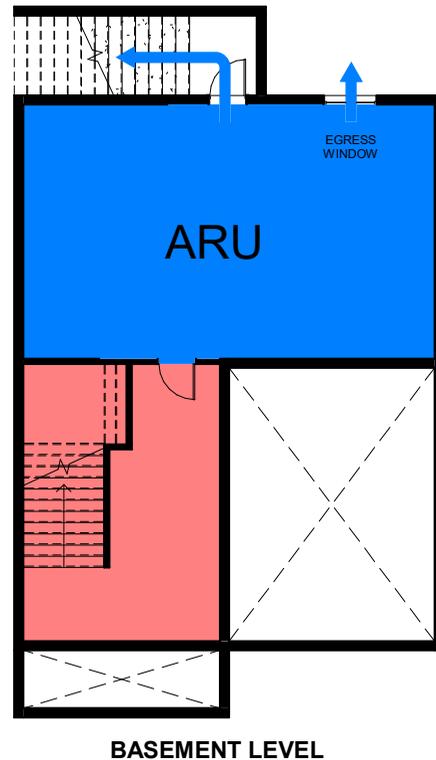
**RAISED DOOR DETAIL**  
 3/8" = 1'-0"

WHERE A DOOR IS HIGHER THAN GRADE AND REQUIRES A LANDING, A CONCRETE OR WOOD LANDING MAY BE CONSTRUCTED (SUBJECT TO ZONING REVIEW)

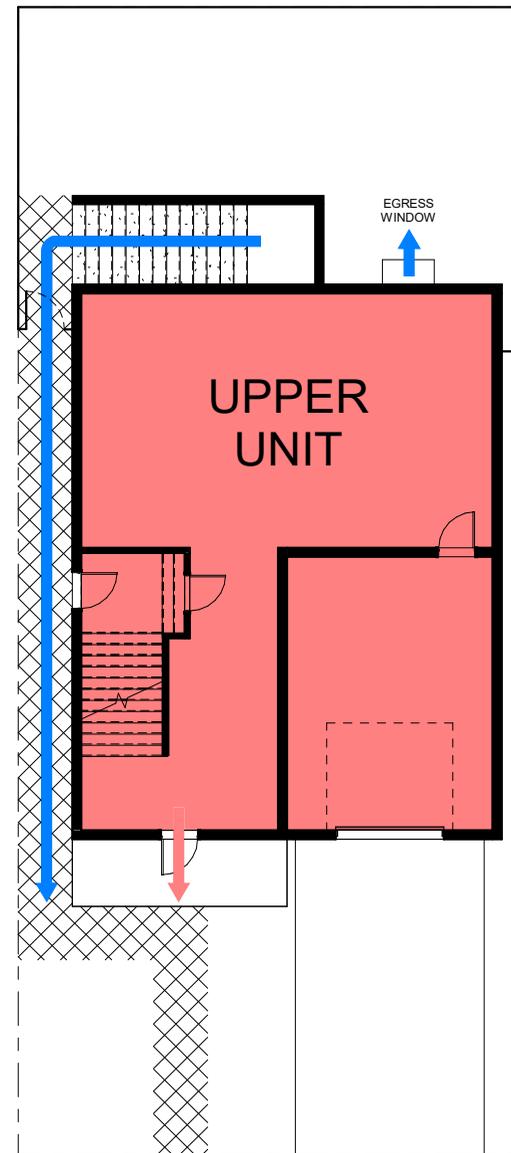
**NOTE:**

- ITS MUST BE POSSIBLE TO SAFELY ACCESS THE REAR YARD FROM THE LANDING
- IF THE DISTANCE FROM THE UNDERSIDE OF THE WOOD JOISTS TO GRADE IS LESS THAN 600mm (23 5/8"), A FLOATING DECK MAY BE INSTALLED WITH DECK BLOCKS
- IF STAIRS ARE CONSTRUCTED OF 2 PRECAST CONCRETE STAIRS IN HEIGHT OR LESS, NO FOUNDATION OR ENGINEERING IS REQUIRED

COLOUR	AREA
	ARU
	UPPER
	COMMON
	ARU EGRESS
	UPPER EGRESS
	UNOBSTRUCTED EGRESS PATH



**BASEMENT LEVEL**



**GROUND FLOOR LEVEL**

## EGRESS OPTION A: DIRECT ACCESS TO EXTERIOR

MAY ONLY BE USED IF AN UNOBSTRUCTED PEDESTRIAN ACCESS WITH A MINIMUM WIDTH OF 1.2m AND MINIMUM VERTICAL CLEARANCE OF 2.1m CAN BE PROVIDED FROM THE STREET LINE TO THE ENTRANCE OF THE ADU. WHERE STAIRS ARE REQUIRED AT THE ENTRANCE, THE UNOBSTRUCTED PEDESTRIAN ACCESS MUST BE PROVIDED TO THE TOP/BOTTOM OF THE STAIRS.

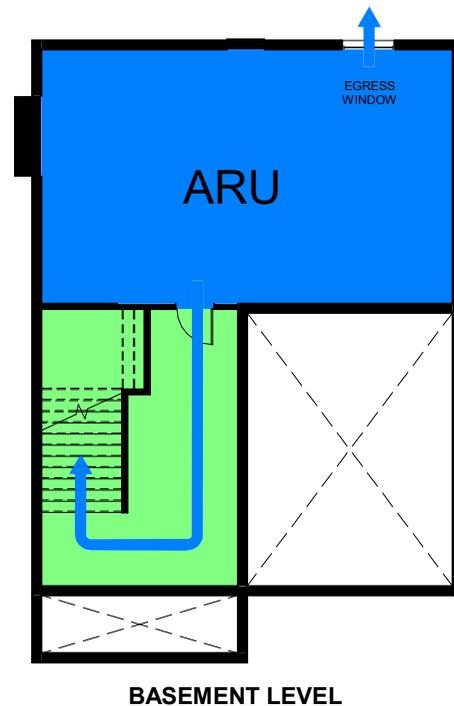
### OBSTRUCTIONS:

- PATH MAY NOT CONTAIN AC UNITS OR OTHER EQUIPMENT
- PATH MAY NOT CONTAIN WINDOW WELLS THAT EXTEND MORE THAN 0.3m INTO REQUIRED 1.2m WIDTH
- PATH MAY NOT CONTAIN A GATE UNLESS THE MINIMUM UNOBSTRUCTED OPENING IS AT LEAST 1.02m WIDE AND 2.1M VERTICAL CLEARANCE

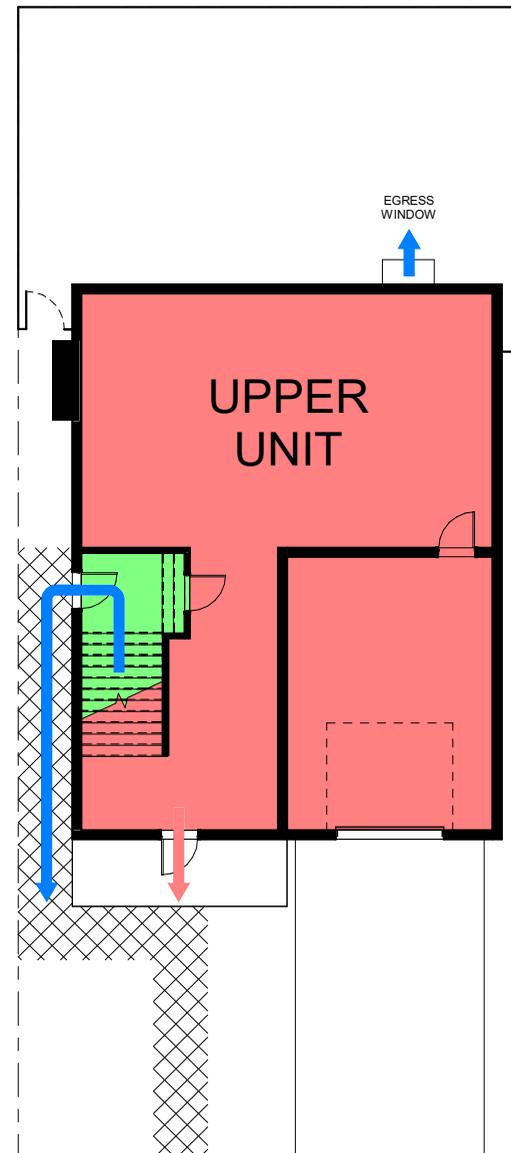
### REQUIRED WINDOW: EGRESS

- IN LIEU OF PROTECTION REQUIRED BY 9.9.4.4., THE TOWN OF MILTON ALLOWS THE INSTALLATION OF AN EGRESS WINDOW
- EGRESS WINDOW LOCATION MUST COMPLY WITH ZONING BY-LAW

COLOUR	AREA
Blue	ARU
Red	UPPER
Green	COMMON
Blue Arrow	ARU EGRESS
Red Arrow	UPPER EGRESS
XXXXXX	UNOBSTRUCTED EGRESS PATH



**BASEMENT LEVEL**



**GROUND FLOOR LEVEL**

## EGRESS OPTION B: COMMON EGRESS

MAY ONLY BE USED IF AN UNOBSTRUCTED PEDESTRIAN ACCESS WITH A MINIMUM WIDTH OF 1.2m AND MINIMUM VERTICAL CLEARANCE OF 2.1m CAN BE PROVIDED FROM THE STREET LINE TO THE ENTRANCE OF THE ADU. WHERE STAIRS ARE REQUIRED AT THE ENTRANCE, THE UNOBSTRUCTED PEDESTRIAN ACCESS MUST BE PROVIDED TO THE TOP/BOTTOM OF THE STAIRS. ANY STAIRS AND/OR LANDINGS LOCATED IN THE SIDE YARD MUST COMPLY WITH THE ZONING BY-LAW.

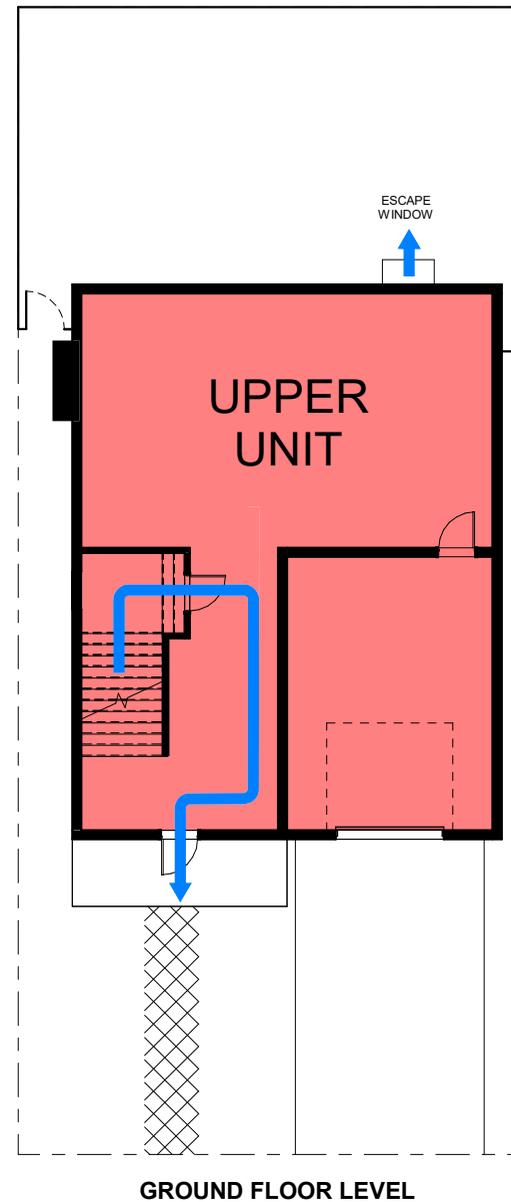
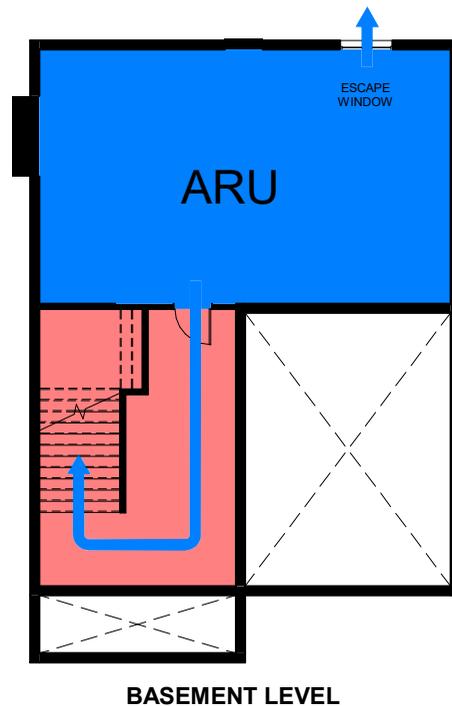
### OBSTRUCTIONS:

- PATH MAY NOT CONTAIN AC UNITS OR OTHER EQUIPMENT
- PATH MAY NOT CONTAIN WINDOW WELLS THAT EXTEND MORE THAN 0.3m INTO REQUIRED 1.2m WIDTH
- OBSTRUCTIONS MAY OCCUR BEYOND THE EGRESS PATH
- PATH MAY NOT CONTAIN A GATE UNLESS THE MINIMUM UNOBSTRUCTED OPENING IS AT LEAST 1.02m WIDE AND 2.1M VERTICAL CLEARANCE

### REQUIRED WINDOW: EGRESS

- DUE TO BASEMENT UNIT NEEDING TO TRAVEL 1 STOREY TO EGRESS DOOR, AN EGRESS WINDOW IS REQUIRED
- EGRESS WINDOW LOCATION MUST COMPLY WITH THE ZONING BY-LAW

COLOUR	AREA
	ARU
	UPPER
	COMMON
	ARU EGRESS
	UPPER EGRESS
	UNOBSTRUCTED EGRESS PATH



## EGRESS OPTION C: THROUGH ANOTHER UNIT

**ONLY APPLICABLE TO HOMES OLDER THAN 5 YEARS**

MAY BE USED IF AN UNOBSTRUCTED PEDESTRIAN ACCESS WITH A MINIMUM WIDTH OF 1.2m AND MINIMUM VERTICAL CLEARANCE OF 2.1m CANNOT BE PROVIDED FROM THE FRONT YARD INTO THE SIDE AND/OR REAR YARD.

### OBSTRUCTIONS:

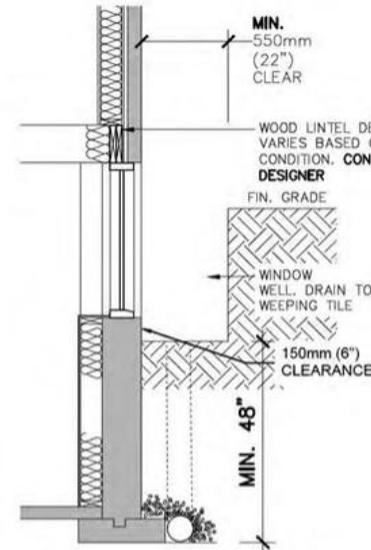
- PATH MAY NOT CONTAIN AC UNITS OR OTHER EQUIPMENT
- PATH MAY NOT CONTAIN WINDOW WELLS THAT EXTEND MORE THAN 0.3m INTO REQUIRED 1.2m WIDTH
- OBSTRUCTIONS MAY OCCUR BEYOND THE EGRESS PATH
- PATH MAY NOT CONTAIN A GATE UNLESS THE MINIMUM UNOBSTRUCTED OPENING IS AT LEAST 1.02m WIDE AND 2.1M VERTICAL CLEARANCE

### REQUIRED WINDOW: ESCAPE

- DUE TO BASEMENT UNIT NEEDING TO TRAVEL 1 STOREY TO EGRESS DOOR, AN ESCAPE WINDOW IS REQUIRED AS PER C139
- ESCAPE WINDOW LOCATION MUST COMPLY WITH THE ZONING BY-LAW

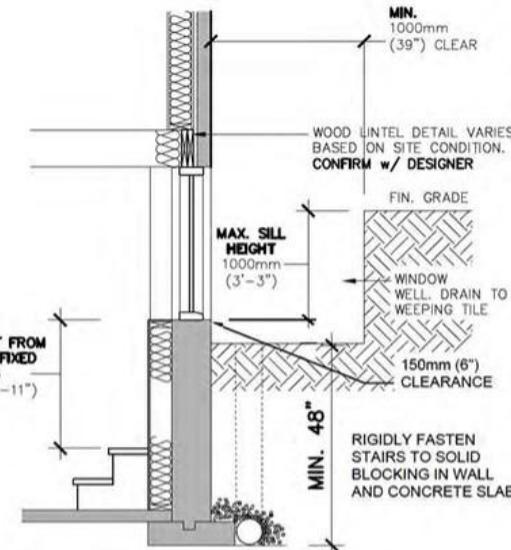
	A (MIN. CLEARANCE)	B (MIN. AREA)
EGRESS WINDOW	380 mm (15")	0.35 m <sup>2</sup> (3.8 sf)
ESCAPE WINDOW	460mm (18")	0.38 m <sup>2</sup> (4.1 sf)

WINDOW TYPE	ELEVATION VIEW	PLAN OR SECTION VIEW
<b>SINGLE OR DOUBLE SLIDER</b> - FOR SLIDING WINDOWS THE CLEAR OPENING ONLY INCLUDES THE PORTION OF THE WINDOW THAT SLIDES. IT DOES NOT INCLUDE LIFTING A SASH AND REMOVING IT		PLAN 
<b>CASEMENT</b> - THE HINGES ON A CASEMENT WINDOW MUST ALLOW THE SASH TO SWING OUT A MINIMUM 15°. THIS MAY REQUIRE THE WINDOW TO HAVE SPECIAL EGRESS HINGES		PLAN 
<b>AWNING</b> - CENTRE SUPPORT (IF APPLICABLE) CANNOT INTERFERE WITH MIN. REQUIRED CLEAR OPENING - CLEAR OPENING MUST BE MAINTAINED WITHOUT THE NEED FOR ADDITIONAL SUPPORT (SASH MUST BE SELF SUPPORTING IN OPEN POSITION)		SECTION 
<b>SINGLE OR DOUBLE HUNG</b> - CLEAR OPENING MUST BE MAINTAINED WITHOUT THE NEED FOR ADDITIONAL SUPPORT (SASH MUST BE SELF SUPPORTING IN OPEN POSITION)		SECTION 



**EGRESS WINDOW**

3/8" = 1'-0"



**ESCAPE WINDOW**

**ESCAPE WINDOW NOTES:**

- SILL HEIGHT CANNOT EXCEED 1000mm (3'-3") ABOVE OR BELOW ADJACENT GROUND LEVEL ON THE EXTERIOR
- SILL HEIGHT CANNOT EXCEED 900mm (2'-11") BELOW THE FLOOR LEVEL OF THE INTERIOR
- SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS IN CONFORMANCE WITH SUBSECTION 9.10.19. AND ARE INTERCONNECTED WITH STROBE LIGHT

**GENERAL WINDOW NOTES:**

- WINDOWS MUST BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS OR SPECIAL KNOWLEDGE
- WHERE THE WINDOW OPENS INTO THE WINDOW WELL, AS IN THE CASE OF AN AWNING WINDOW, THE MINIMUM CLEARANCES OF 550mm (22") and 1000mm (29") MUST BE MEASURED FROM THE EDGE OF THE OPENED WINDOW
- WHERE THE WINDOW WELL EXCEEDS 600mm (24") IN DEPTH, PROTECTION MAY BE REQUIRED

**NOTE FOR FOUNDATION WALL:**

TOTAL WIDTH OF OPENING(S) SHALL NOT EXCEED 25% OF TOTAL WALL LENGTH, INDIVIDUAL OPENINGS SHALL NOT EXCEED 1.2M (48") UNLESS SUITABLY REINFORCED

**FIRE SEPARATIONS**

PURPOSE-BUILT		<b>FRR: 45min - STC: 50</b> 5/8" TYPE X GYPSUM BOARD 3 1/2" WOOD STUD @ 400oc 3 1/2" ABSORPTIVE FILL RESILIENT CHANNEL @ 16oc OR 24oc 2 LAYERS 5/8" TYPE X GYPSUM BOARD
		<b>FRR: 45 - STC: 53</b> EXISTING WOOD FLOOR FRAMING ABSORPTIVE FILL RESILIENT CHANNEL @ 16oc OR 24oc 2 LAYERS - 5/8" TYPE X GYPSUM BOARD

RENOVATION (NEW ASSEMBLIES)		<b>FRR: 30min - STC: 43</b> 1/2" GYPSUM BOARD 5 1/2" WOOD STUD 5 1/2" ABSORPTIVE FILL RESILIENT CHANNEL @ 16oc OR 24oc 1/2" GYPSUM BOARD
		<b>FRR: 30 - STC: 43</b> EXISTING FLOOR FRAMING 5 1/2" ABSORPTIVE FILL RESILIENT CHANNEL @ 16oc OR 24oc 1/2" GYPSUM BOARD

RENOVATION		<b>FRR: 30min - STC: 32</b> 1/2" GYPSUM BOARD 3 1/2" WOOD STUD 3 1/2" ABSORPTIVE FILL 1/2" GYPSUM BOARD
		<b>FRR: 15 - STC: N/A</b> EXISTING WOOD FLOOR FRAMING 1/2" GYPSUM BOARD

AN STC (SOUND TRANSMISSION CLASS) IS NOW ENFORCED FOR PROJECTS THAT FALL UNDER PART 11 THROUGH COMPLIANCE ALTERNATIVE C181.

THE TOWN OF MILTON WILL BE ENFORCING THIS IN THE FOLLOWING WAY:

- **NEW ASSEMBLIES** WILL BE REQUIRED TO MEET THE REQUIREMENTS OF C181
- **EXISTING ASSEMBLIES** INSPECTED UNDER AN APPROVED PERMIT WILL BE ABLE TO BE MODIFIED TO MEET THE REQUIRED FRR



TOWN OF MILTON, ON  
150 MARY STREET, 2nd FLOOR  
PLANNING AND DEVELOPMENT

**ADU GUIDELINE PACKAGE  
(2024 OBC UPDATE)**

**NOTES & DETAILS**