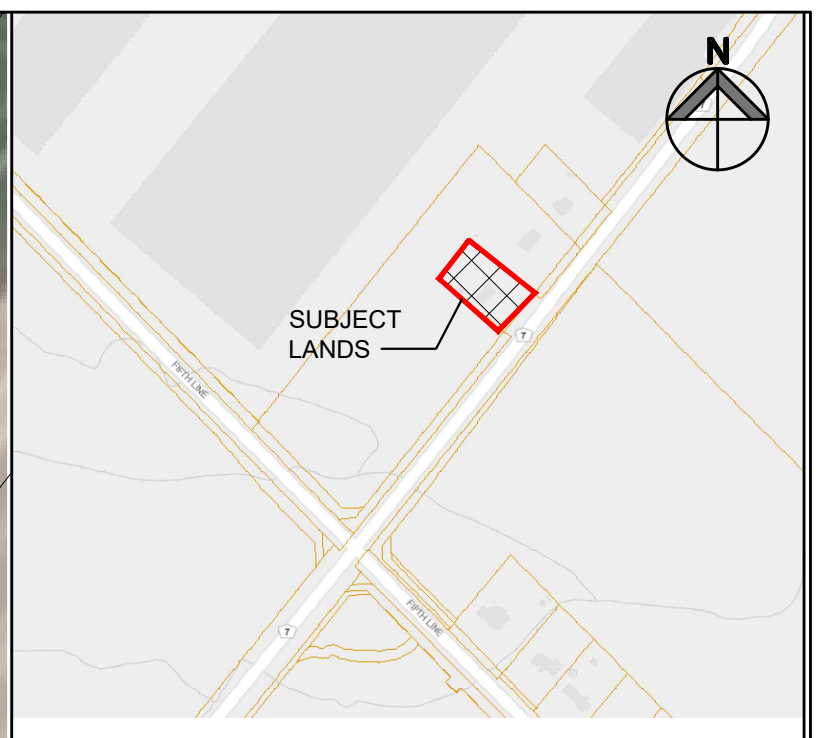




ZONING PARAMETERS

Zoning Parameters (FD Zone)			
ZBL Section	Parameter	Required (FD)	Provided
Table 12A	Lot Frontage	as existing	45.7m
Table 12A	Lot Area	as existing	3677 m ²
Table 12A	Lot Coverage	N/A	5.40%
Table 12A	Front Yard Setback	4.0m	30.5m
Table 12A	Interior Side Yard Setback	1.2	6.7 m (West), 20.6 m (East)
Table 12A	Rear Yard Setback	7.5m	35.9m
5.11(iii)	Each parking space access	To have direct access to a public street by an unobstructed driveway. Arranged so each space has access to and from an improved and maintained public street unobstructed by another parking space.	Parking to be provided in tandem like arrangement in an existing driveway
5.11(iv)	Individual parking spaces		Parking may be obstructed by other parking spaces in a tandem like arrangement in an existing driveway. May be obstructed in an existing driveway
5.11(v)	All required parking	Must be unobstructed. Must be able to enter and leave the site in a forward direction.	
5.1(vi)	Direction of vehicle travel		May be required to enter or leave the site in reverse in an existing driveway. Parking spaces may obstruct movement of vehicles parked closer to the temporary real estate office in an existing driveway
5.1(vii)	Parking spaces relation to vehicular movement	No parking space shall obstruct vehicle movement.	
5.1(x)	Parking surface treatment	Must be asphalt, concrete, concrete pavers or similar	May be provided on an existing driveway surface, inclusive of gravel. May be obstructed in an existing driveway
5.6.1	Driveway access to a parking area	Must be unobstructed	
5.7	Access to parking	Shall be provided an adjacent aisle	Directly from the street via an existing driveway and may be obstructed
Table 5D	Perpendicular parking space size	5.8m x 2.75m	5.8m x 2.75m
Table 5E	Parking rate (office use)	1 space per 30 m ² of GFA = 6.7 spaces (rounded to 7)	10
Table 5H	Accessible parking	1 Type A space	0
Table 5I	Bicycle parking	3% of required parking = 0.2 (rounded to 1 space)	0



KEY PLAN N.T.S.

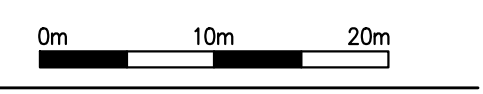
No.	DATE	REVISIONS
1.	26-04-2026	---

CLIENT: CENTURY 21 GREEN REALTY INC.
 SITE ADDRESS: 11179 DERRY ROAD WEST
 PT LOT 11, CON 6
 TRAFALGAR NEW SURVEY
 TOWN OF MILTON,
 REGIONAL MUNICIPALITY OF HALTON



162 Guelph Street, Suite 209
 Georgetown, ON L7G 5X7

TITLE: SITE PLAN



SCALE: 1:450
 DATE: APRIL 26 2026
 DRAWN: M.M.
 CHECKED: R.R.
 PROJECT No: XXXX
 DRAWING No:

P-01