

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of applicable governing jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

LEGEND

- PROPOSED ENTRANCE
- PROPOSED PRIMARY ENTRANCE
- PROPOSED EXIT
- PROPOSED FIRE HYDRANT
- PROPOSED SIGNAGE
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAD
- PROPOSED LANDSCAPING
- DENSE LANDSCAPING
- VISIBILITY TRIANGLE
- LOADING AREA
- LOADING SPACE

SITE AREA BLOCK 1A	8.02 ACRES	3.25 HA
BUILDING A GFA	±60,000 S.F.	±5,574 S.M.
LEASABLE AREA	±60,000 S.F.	±5,574 S.M.
PATIO AREA	±1,940 S.F.	±180 S.M.
TOTAL AREA	±61,940 S.F.	±5,754 S.M.
BUILDING B GFA	±11,310 S.F.	±1,051 S.M.
LEASABLE AREA	±11,160 S.F.	±1,037 S.M.
ME ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±250 S.F.	±23 S.M.
TOTAL AREA	±11,560 S.F.	±1,074 S.M.
BUILDING C GFA	±12,675 S.F.	±1,178 S.M.
LEASABLE AREA	±12,465 S.F.	±1,158 S.M.
ME ROOM	±210 S.F.	±20 S.M.
TOTAL AREA	±12,675 S.F.	±1,178 S.M.
BUILDING D GFA	±10,725 S.F.	±997 S.M.
LEASABLE AREA	±10,365 S.F.	±960 S.M.
ME ROOM	±150 S.F.	±14 S.M.
GARBAGE ROOM	±230 S.F.	±21 S.M.
PATIO AREA	±474 S.F.	±44 S.M.
TOTAL AREA	±11,209 S.F.	±1,041 S.M.
GROSS FLOOR AREA BLOCK 1A	±94,720 S.F.	±8,800 S.M.
COVERAGE BLOCK 1A	27.1%	
SITE AREA BLOCK 1B	4.69 ACRES	1.90 HA
BUILDING E GFA	±17,083 S.F.	±1,587 S.M.
LEASABLE AREA	±16,933 S.F.	±1,573 S.M.
ME ROOM + SPRINKLER ROOM	±150 S.F.	±14 S.M.
TOTAL AREA	±17,083 S.F.	±1,587 S.M.
BUILDING F GFA	±8,600 S.F.	±799 S.M.
LEASABLE AREA	±8,450 S.F.	±785 S.M.
ME ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±640 S.F.	±59 S.M.
TOTAL AREA	±9,240 S.F.	±858 S.M.
BUILDING G GFA	±9,490 S.F.	±882 S.M.
LEASABLE AREA	±9,340 S.F.	±868 S.M.
ME ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±640 S.F.	±59 S.M.
TOTAL AREA	±10,130 S.F.	±941 S.M.
BUILDING H GFA	±11,440 S.F.	±1,063 S.M.
LEASABLE AREA	±11,290 S.F.	±1,049 S.M.
ME ROOM	±150 S.F.	±14 S.M.
TOTAL AREA	±11,440 S.F.	±1,063 S.M.
BUILDING I GFA	±6,500 S.F.	±604 S.M.
LEASABLE AREA	±6,350 S.F.	±590 S.M.
ME ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±570 S.F.	±53 S.M.
TOTAL AREA	±7,070 S.F.	±657 S.M.
GROSS FLOOR AREA BLOCK 1B	±53,113 S.F.	±4,934 S.M.
COVERAGE BLOCK 1B	26.0%	
TOTAL COVERAGE BLOCK 1A & 1B	26.7%	
TOTAL SITE AREA BLOCK 1A & 1B	12.71 ACRES	5.14 HA
TOTAL GROSS FLOOR AREA (1A & 1B)	±147,833 S.F.	±13,734 S.M.
TOTAL PATIO AREA	±4,514 S.F.	±420 S.M.
TGFA WITH PATIO	±152,347 S.F.	±14,153 S.M.
TOTAL GFA - 10%	±133,050 S.F.	±12,361 S.M.
1 PER 18 S.M. (PATIO)	24 CARS	
1 PER 24 S.M. (TGA)	516 CARS	
TOTAL PARKING W/ PATIO REQUIRED	540 CARS	
	4.06 CARS/1000 S.F.	
	4.37 CARS/100 S.M.	
BLOCK 1A PARKING REQUIRED	344 CARS	
	3.63 CARS/1000 S.F.	
	3.91 CARS/100 S.M.	
BLOCK 1B PARKING W/ PATIO REQUIRED	195 CARS	
	4.08 CARS/1000 S.F.	
	4.40 CARS/100 S.M.	
TOTAL PARKING PROVIDED SITE 1A & 1B	628 CARS	
	4.72 CARS/1000 S.F.	
	5.08 CARS/100 S.M.	
SNOW STORAGE	32 CARS	
GARDEN CENTRE	39 CARS	
TOTAL PATIO PARKING PROVIDED	24 CARS	
(PARKING W/O SNOW STORAGE AND GARDEN AREA)	557 CARS	
BLOCK 1A PARKING PROVIDED	406 CARS	
	4.29 CARS/1000 S.F.	
	4.61 CARS/100 S.M.	
BLOCK 1B PARKING PROVIDED	222 CARS	
	4.18 CARS/1000 S.F.	
	4.50 CARS/100 S.M.	
BARRIER FREE SPACES REQUIRED	16 CARS	
2 SPACES + 2% OF REQUIRED PARKING SPACES		
BARRIER FREE SPACES PROVIDED	24 CARS	
EV SPACES	6 CARS	
BIKE SPACES REQUIRED 3% OF REQUIRED PARKING SPACES	19 BIKES	
BIKE SPACES PROVIDED	102 BIKES	
BLOCK 1A LANDSCAPE AREA / 10.00% REQUIRED	0.80 ACRES	0.32 HA
BLOCK 1A LANDSCAPE AREA / 8.88% PROVIDED	0.72 ACRES	0.29 HA
BLOCK 1B LANDSCAPE AREA / 10.00% REQUIRED	0.47 ACRES	0.19 HA
BLOCK 1B LANDSCAPE AREA / 15.56% PROVIDED	0.73 ACRES	0.29 HA

24	2025-06-17	ISSUED FOR REVIEW	JKW
23	2025-06-13	ISSUED FOR REVIEW	JKW
22	2025-06-12	ISSUED FOR REVIEW	JKW
21	2025-06-06	ISSUED FOR REVIEW	AKAC
20	2025-05-30	ISSUED FOR REVIEW	AKAC
19	2025-05-02	ISSUED FOR REVIEW	AKAC
18	2025-03-25	ISSUED FOR COORDINATION	AKAC
17	2024-10-24	ISSUED FOR REVIEW	AKAC
16	2024-10-07	ISSUED FOR COORDINATION	AKAC
15	2024-05-10	ISSUED FOR SPA SUBMISSION 3	MBB
1	2022-08-30	ISSUED FOR SPA	DCI
#	DATE	DESCRIPTION	BY

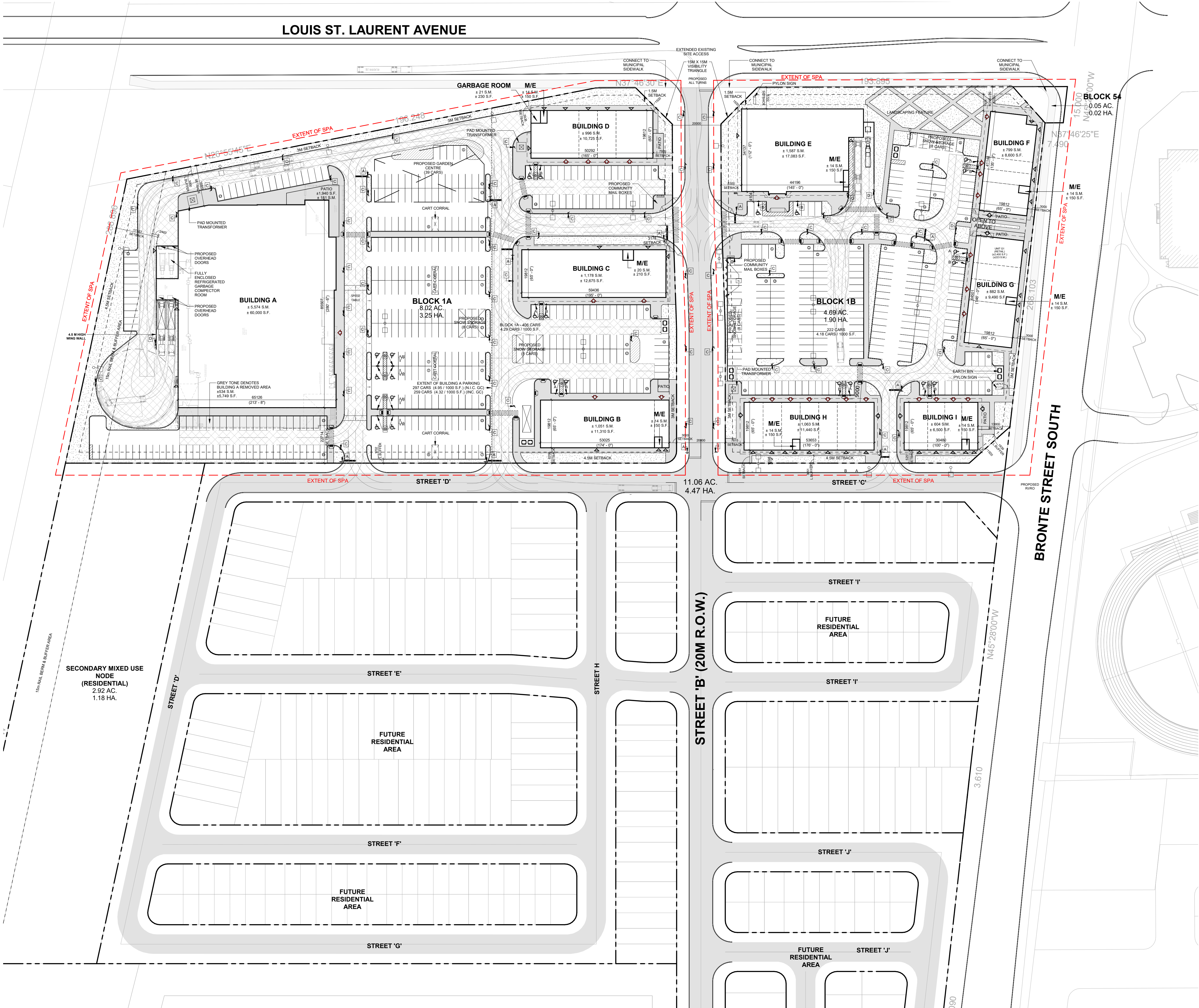
fieldgate

PROJECT
LOUIS ST. LAURENT AVE & BRONTE STREET S
MILTON, ON

DRAWING
#SP-29/22 SITE PLAN

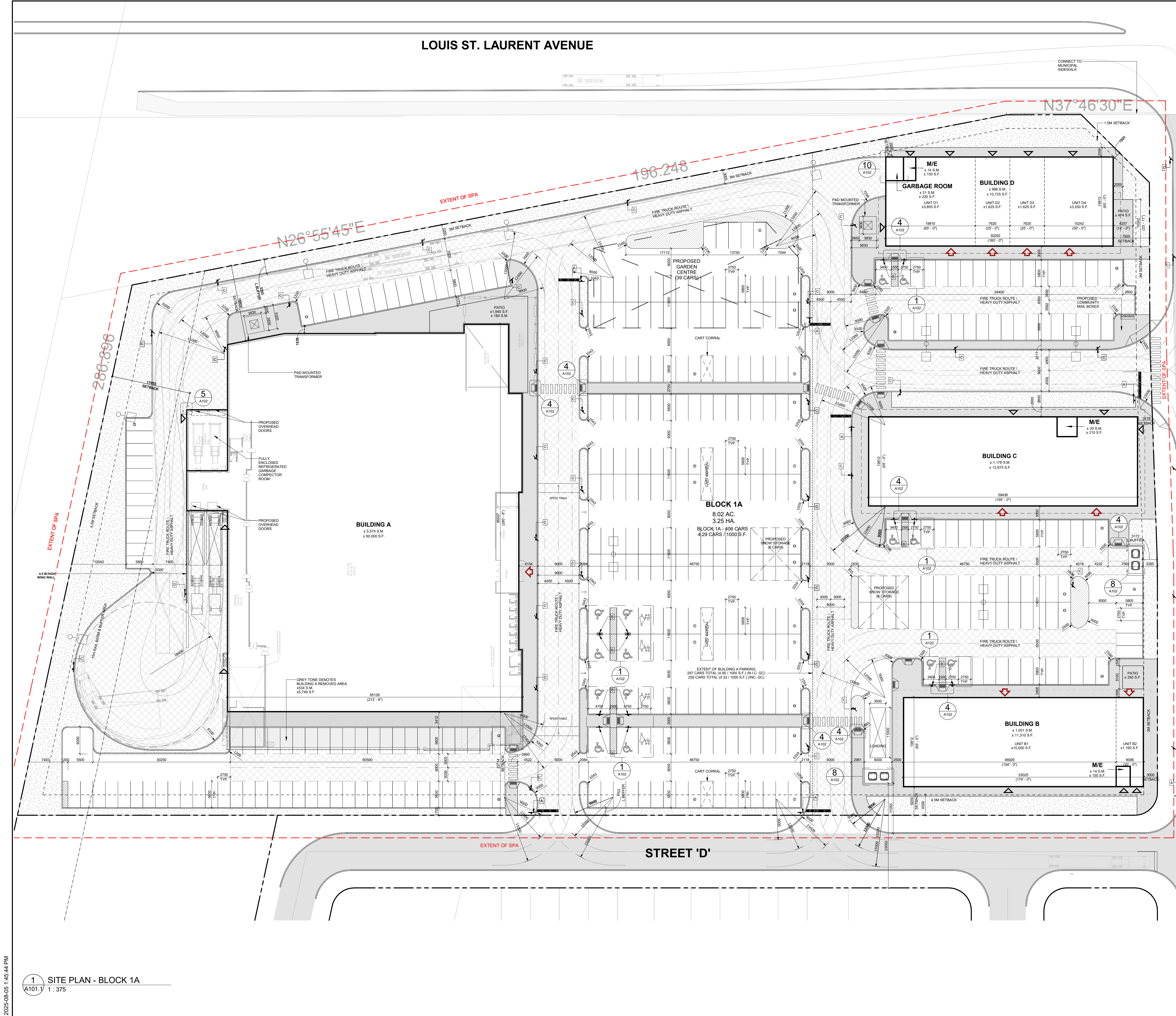
PROJECT NO. 17.042	PROJECT DATE 2024-04-23
DRAWN BY DCI	CHECKED BY JJJ
SCALE 1: 750	REV. 24
DRAWING NO. A101	REV. 24

LOUIS ST. LAURENT AVENUE



2025-09-05 1:45:44 PM

1 SITE PLAN - BLOCK 1A
A101.1 1:375



SITE AREA BLOCK 1A		
	8.02 ACRES	3.25 HA
BUILDING A GFA	±60,000 S.F.	±5,574 S.M.
LEASABLE AREA	±60,000 S.F.	±5,574 S.M.
PATIO AREA	±1,940 S.F.	±180 S.M.
TOTAL AREA	±61,940 S.F.	±5,754 S.M.
BUILDING B GFA	±11,310 S.F.	±1,051 S.M.
LEASABLE AREA	±11,160 S.F.	±1,037 S.M.
M/E ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±250 S.F.	±23 S.M.
TOTAL AREA	±11,560 S.F.	±1,074 S.M.
BUILDING C GFA	±12,675 S.F.	±1,178 S.M.
LEASABLE AREA	±12,465 S.F.	±1,158 S.M.
M/E ROOM	±210 S.F.	±20 S.M.
TOTAL AREA	±12,675 S.F.	±1,178 S.M.
BUILDING D GFA	±10,735 S.F.	±997 S.M.
LEASABLE AREA	±10,355 S.F.	±962 S.M.
M/E ROOM	±150 S.F.	±14 S.M.
GARBAGE ROOM	±230 S.F.	±21 S.M.
PATIO AREA	±474 S.F.	±44 S.M.
TOTAL AREA	±11,209 S.F.	±1,041 S.M.
GROSS FLOOR AREA BLOCK 1A	±94,720 S.F.	±8,800 S.M.
COVERAGE BLOCK 1A		27.1%
TOTAL GROSS FLOOR AREA SITE 1A		
1 PER 24 S.M. (GFA)	± 94,720 S.F.	± 8,800 S.M.
TOTAL PATIO AREA	± 2,664 S.F.	± 247 S.M.
TGFA WITH PATIO	± 97,384 S.F.	± 9,047 S.M.
BUILDING A,B,C & D PARKING REQUIRED		
1 PER 24 S.M. (GFA)		330 CARS
PATIO PARKING REQUIRED		14 CARS
1 PER 18 S.M. (PATIO)		
BLOCK 1A PARKING PROVIDED		344 CARS
1 PER 24 S.M. (GFA)	3.63 CARS/1000 S.F.	3.91 CARS/1000 S.M.
PATIO PARKING PROVIDED	4.29 CARS/1000 S.F.	4.61 CARS/1000 S.M.
PARKING PROVIDED W/O SNOW STORAGE		351 CARS
AND GARDEN CENTRE	3.71 CARS/1000 S.F.	3.99 CARS/1000 S.M.
BLOCK 1A LANDSCAPE AREA / 10.00% REQUIRED	0.80 ACRES	0.32 HA
BLOCK 1A LANDSCAPE AREA / 8.98% PROVIDED	0.72 ACRES	0.29 HA

TURNER FLEISCHER

Turner Fleischer Architects Inc.
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turnerfleischer.com

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LEGEND	
	PROPOSED ENTRANCE
	PROPOSED PRIMARY ENTRANCE
	PROPOSED EXIT
	PROPOSED FIRE HYDRANT
	PROPOSED SIGNAGE
	PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE PAD
	PROPOSED LANDSCAPING
	VISIBILITY TRIANGLE
	LOADING AREA
	LOADING SPACE

17	2024-10-24	ISSUED FOR REVIEW	AMC
16	2024-10-07	ISSUED FOR COORDINATION	AMC
15	2024-09-27	ISSUED FOR REVIEW	MMB
13	2024-09-06	ISSUED FOR REVIEW	MMB
12	2024-05-10	ISSUED FOR SPA SUBMISSION 3	MMB
#	DATE	DESCRIPTION	BY

fieldgate

PROJECT
LOUIS ST. LAURENT AVE & BRONTE STREET S
MILTON, ON

DRAWING
#SP-29/22 ENLARGED SITE PLAN 1A

PROJECT NO.	17.042
PROJECT DATE	2024-04-23
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated

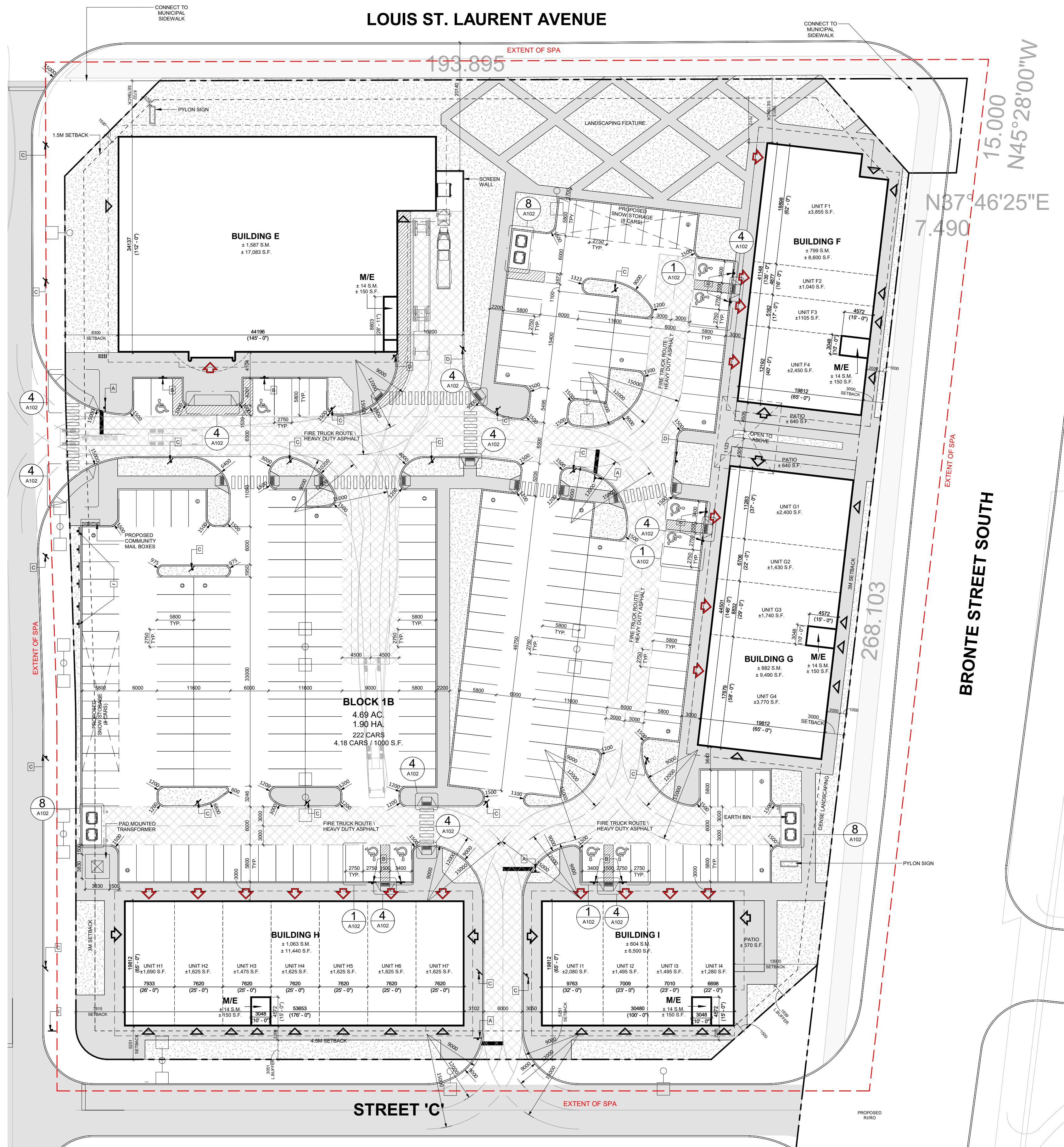
	DRAWING NO.	REV.
	A101.1	17

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LEGEND

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- PROPOSED LANDSCAPING
- VISIBILITY TRIANGLE
- LOADING AREA
- LOADING SPACE

SITE AREA BLOCK 1B	4.89 ACRES	1.90 HA.
BUILDING E GFA	±17,083 S.F.	±1,587 S.M.
LEASABLE AREA	±16,933 S.F.	±1,573 S.M.
M/E ROOM + SPRINKLER ROOM	±150 S.F.	±14 S.M.
TOTAL AREA	±17,083 S.F.	±1,587 S.M.
BUILDING F GFA	±8,600 S.F.	±799 S.M.
LEASABLE AREA	±8,450 S.F.	±785 S.M.
M/E ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±640 S.F.	±59 S.M.
TOTAL AREA	±9,240 S.F.	±858 S.M.
BUILDING G GFA	±9,490 S.F.	±882 S.M.
LEASABLE AREA	±9,340 S.F.	±868 S.M.
M/E ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±640 S.F.	±59 S.M.
TOTAL AREA	±10,130 S.F.	±941 S.M.
BUILDING H GFA	±11,440 S.F.	±1,063 S.M.
LEASABLE AREA	±11,290 S.F.	±1,049 S.M.
M/E ROOM	±150 S.F.	±14 S.M.
TOTAL AREA	±11,440 S.F.	±1,063 S.M.
BUILDING I GFA	±6,500 S.F.	±604 S.M.
LEASABLE AREA	±6,350 S.F.	±590 S.M.
M/E ROOM	±150 S.F.	±14 S.M.
PATIO AREA	±570 S.F.	±53 S.M.
TOTAL AREA	±7,070 S.F.	±657 S.M.
GROSS FLOOR AREA BLOCK 1B	±53,113 S.F.	±4,934 S.M.
COVERAGE BLOCK 1B		26.0%
TOTAL GROSS FLOOR AREA SITE 1B	±53,113 S.F.	±4,934 S.M.
TOTAL PATIO AREA	±1,850 S.F.	±172 S.M.
TGFA WITH PATIO	±54,963 S.F.	±5,106 S.M.
BUILDING E,F,G, H & I PARKING REQUIRED		185 CARS
1 PER 24 S.M. (GFA)		
PATIO PARKING REQUIRED		10 CARS
1 PER 18 S.M. (PATIO)		
BLOCK 1B PARKING W/ PATIO REQUIRED		195 CARS
	4.08 CARS/1000 S.F.	
BLOCK 1B PARKING PROVIDED		222 CARS
	4.18 CARS/1000 S.F.	
PARKING PROVIDED W/O SNOW STORAGE		206 CARS
	3.88 CARS/1000 S.F.	
BLOCK 1B LANDSCAPE AREA / 10.00% REQUIRED	0.47 ACRES	0.19 HA.
BLOCK 1B LANDSCAPE AREA / 15.56% PROVIDED	0.73 ACRES	0.29 HA.



1 SITE PLAN - BLOCK 1B
A101.2 1: 375

18	2024-10-07	ISSUED FOR COORDINATION	IMAC
12	2024-05-10	ISSUED FOR SPA SUBMISSION 3	IMHB
11	2024-04-25	ISSUED FOR SPA	ETI
10	2024-03-07	ISSUED FOR COORDINATION	ETI
9	2024-03-04	ISSUED FOR COORDINATION	IMHB
#	DATE	DESCRIPTION	BY

fieldgate

PROJECT
LOUIS ST. LAURENT AVE & BRONTE STREET S
MILTON, ON

DRAWING
#SP-29/22 ENLARGED SITE PLAN 1B

PROJECT NO.	17.042
PROJECT DATE	2024-04-23
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated

DRAWING NO.	A101.2	REV.	16
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The issuance of this record drawing is a representation by Turner Fleischer Architects Inc. that the construction, enlargement or alteration of the building is, in general, as opposed to precise, conforming with the design prepared and provided by Turner Fleischer Architects Inc., but is not a representation that the construction, enlargement or alteration of the building is in conformity with a design that has been prepared or provided by others. The revisions to these contact documents, reflecting the significant changes in the work made during construction, are based on data furnished by the contractor to Turner Fleischer Architects Inc. Turner Fleischer Architects Inc. shall not be held responsible for the accuracy or completeness of the information provided by the contractor.



9	2024-07-28	ISSUED FOR REVIEW	AMC
8	2024-04-25	ISSUED FOR SPA	ETI
7	2024-03-26	ISSUED FOR REVIEW	MHB
6	2024-03-04	ISSUED FOR REVIEW	MHB
5	2023-12-22	ISSUED FOR REVIEW	ASK
4	2023-07-20	ISSUED FOR SPA	TLA
1	2022-08-31	ISSUED FOR SPA	DCI
#	DATE	DESCRIPTION	BY

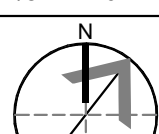
PROJECT

**LOUIS ST. LAURENT AVE. & BRONTE
STREET SOUTH**

MILTON, ON

DRAWING

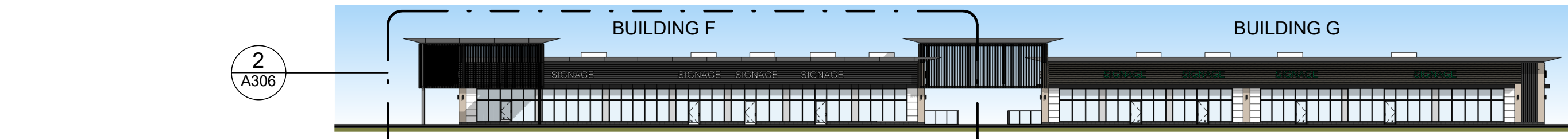
BUILDING F
#SP-29/22 FLOOR PLAN & ROOF PLAN

PROJECT NO. 17.042		
PROJECT DATE 2023-12-22		
DRAWN BY NXC		
CHECKED BY JJJ		
SCALE 1/8" = 1'-0"		
	DRAWING NO. A206	REV. 9

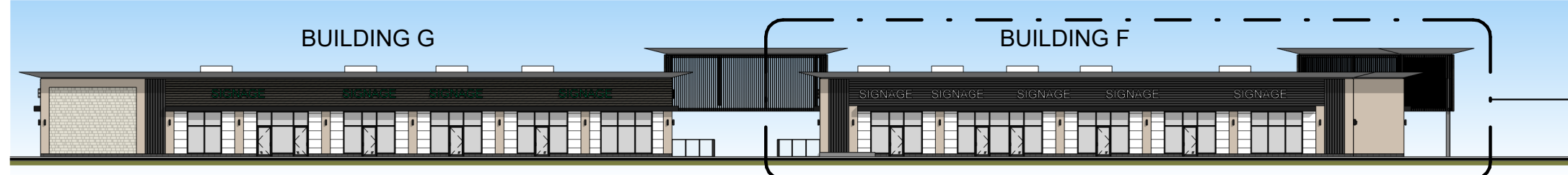
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NOTE:

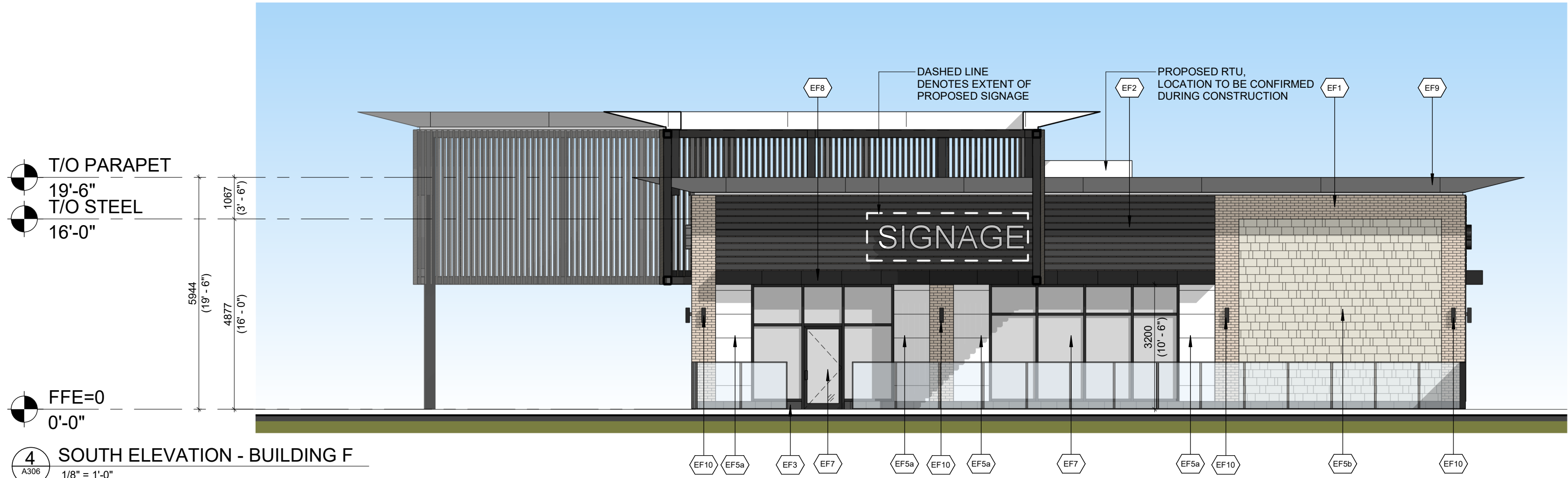
ALL RTUs ARE TO BE SCREENED BY
PARAPET OR ROOF SCREENS.



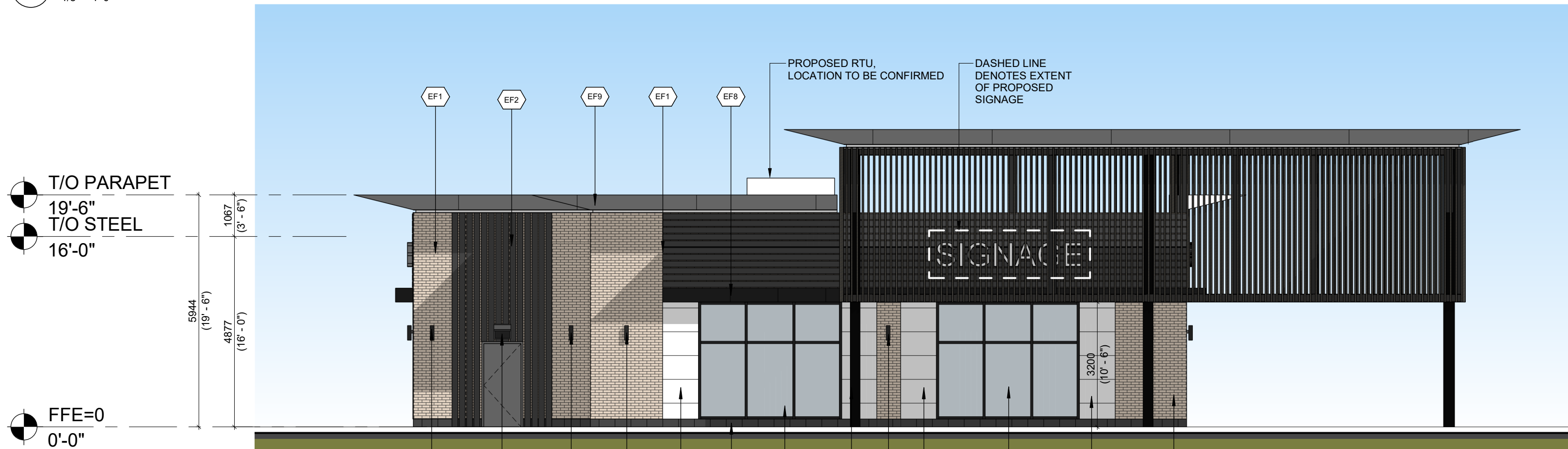
6 WEST ELEVATION - BUILDING F & G
1/32" = 1'-0"



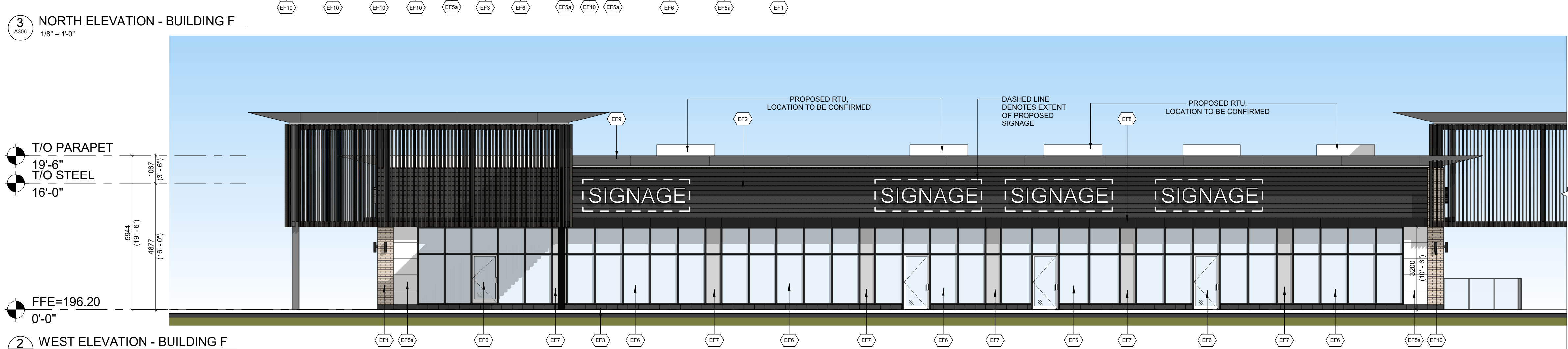
7 EAST ELEVATION - BUILDING F & G
1/32" = 1'-0"



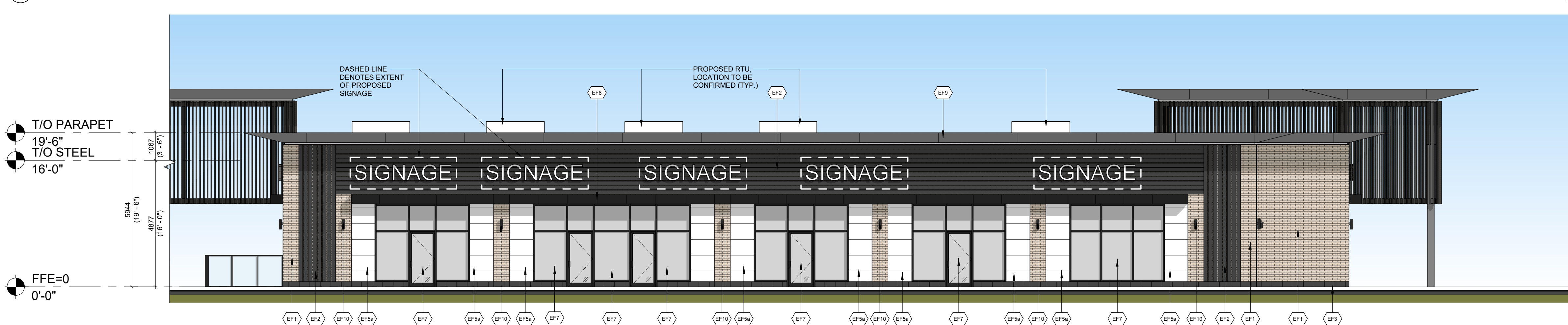
4 SOUTH ELEVATION - BUILDING F
1/8" = 1'-0"



3 NORTH ELEVATION - BUILDING F
1/8" = 1'-0"

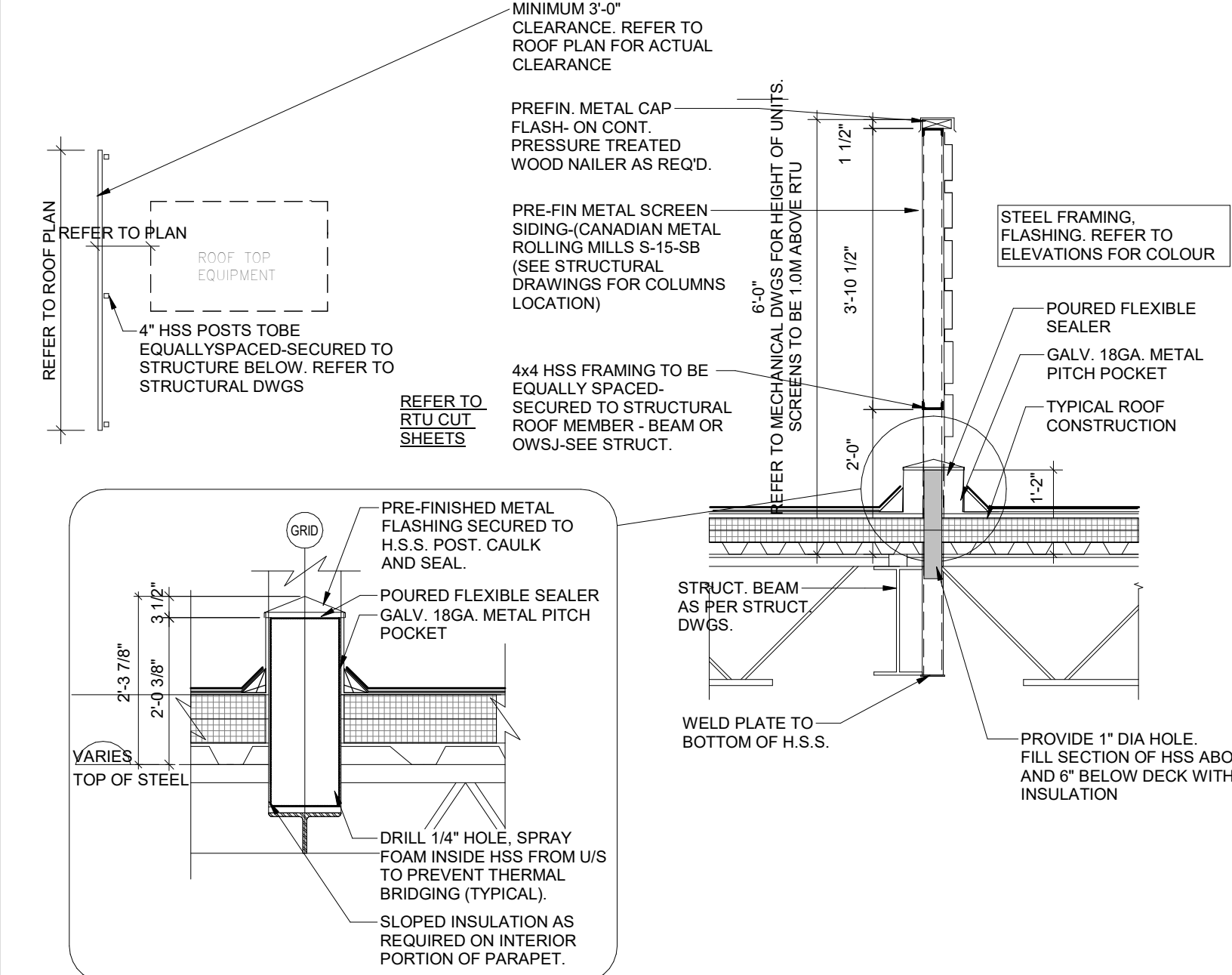


2 WEST ELEVATION - BUILDING F
1/8" = 1'-0"



1 EAST ELEVATION - BUILDING F
1/8" = 1'-0"

NOTE: RTUs WILL BE SCREENED FROM SURROUNDINGS
BY EITHER PARAPET OR ROOF SCREEN.



5 ROOF SCREEN DETAIL
1/2" = 1'-0"

EXTERIOR FINISH SCHEDULE

EF1	CLAY BRICK: PRODUCT: BRAMPTON BRICK - CONTEMPORARY SERIES SIZE: 90 x 79 x 257 mm COLOUR: CHELSEA MORTAR: TO MATCH BRICK SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF2	ALUMINUM SLATS: PRODUCT: LONGBOARD SIZE: 47X1" COLOUR: BURN'T CHERRY SEE MANUFACTURER'S STANDARD
EF3	ARCHITECTURAL BLOCK: PRODUCT: BRAMPTON BRICK- PROFILE SERIES SIZE: 90 x 190 x 390 mm COLOUR: ACADEMY FINISH: QUARTZ MORTAR: TO MATCH BLOCK SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF4	ARCHITECTURAL BLOCK: PRODUCT: BRAMPTON BRICK - PROFILE SERIES SIZE: 90 x 190 x 390 mm COLOUR: POLAR WHITE FINISH: PLAIN MORTAR: TO MATCH BLOCK SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF5a	FIBRE-CEMENT FACADE PANEL: PRODUCT: EQUITONE - TECTIVA SIZE: 1220 x 2500-3050 x 8 mm COLOUR: TE90 (WHITE) SEE MANUFACTURER'S STANDARD SPECIFICATIONS FOR FASTENERS AND SUPPORT
EF5b	FIBRE-CEMENT SHINGLE SIDING: PRODUCT: HARDIESHINGLE - STRAIGHT EDGE PANEL SIZE: 1200 x 406 mm COLOUR: COBBLESTONE SEE MANUFACTURER'S STANDARD SPECIFICATIONS FOR FASTENERS AND SUPPORT
EF6	GLAZED DOORS & WINDOWS: CLEAR LOW E DOUBLE GLAZING W/ THERMALLY BROKEN BLACK ANODIZED ALUMINUM FRAMES
EF7	SPANDREL GLAZED DOORS & WINDOWS: BLACK ANODIZED ALUMINUM FRAMES CLEAR GLASS UNIT WITH CUSTOM COLOUR COATING ON INBOARD SURFACE OF OUTERLITE (TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS) COLOUR: MOUSE GRAY
EF8	FASCIA CANOPY - ALUMINUM COMPOSITE PANEL: PRODUCT: ALPOLIC - (1/2" DRY JOINT) COLOUR: BLACK CONTRACTOR TO PROVIDE COLOUR/FINISH SAMPLE FOR OWNER APPROVAL PRIOR TO ORDERING OF MATERIALS
EF9	ALUMINUM COMPOSITE PANEL: PRODUCT: ALPOLIC COLOUR: SILVER METALLIC (OR SIMILAR REFLECTIVE COLOUR) REFER TO DETAILS FOR PROFILE
EF10	LIGHT FIXTURE: REFER TO ELEC. SPEC. FOR LIGHT FIXTURE
EF11	EXTERIOR SIGNAGE: SIGNAGE TO BE PROVIDED BY AND INSTALLED BY TENANT. SIGNAGE CONDUIT ROUGH-OUTS TO BE COORDINATED WITH TENANT.
EF12	ALUMINUM COMPOSITE PANEL: PRODUCT: ALPOLIC COLOUR: CNC CHARCOAL
EF13	ALUMINUM SLATS: PRODUCT: LONGBOARD SIZE: 6"X1" COLOUR: WHITE SEE MANUFACTURER'S STANDARD
EF14	STEEL COLUMN: PRODUCT: HHS TUBE, SQUARE SIZE: 180 COLOUR: CHARCOAL

9	2024-07-28	ISSUED FOR REVIEW	AMC
8	2024-04-25	ISSUED FOR SPA	ETI
7	2024-03-26	ISSUED FOR REVIEW	MHB
6	2024-03-04	ISSUED FOR REVIEW	MHB
5	2023-12-22	ISSUED FOR REVIEW	ASK
4	2023-07-20	ISSUED FOR SPA	TJA
1	2022-08-31	ISSUED FOR SPA	DCI
#	DATE	DESCRIPTION	BY

fieldgate

PROJECT
LOUIS ST. LAURENT AVE. & BRONTE
STREET SOUTH

MILTON, ON

DRAWING
BUILDING F
#SP-29/22 ELEVATIONS

PROJECT NO. 17.042	
PROJECT DATE 2023-12-22	
DRAWN BY NXC	
CHECKED BY JJJ	
SCALE As indicated	

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all client/owner conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to applicable codes and regulations and the use of unskilled labor. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

Ontario Building Code Data Matrix								Building Code Reference			
Part 3											
3.00	Building Code Version:		_O. Reg. 332/12		Last Amendment		_451/22_				
3.01	Project Type:		<input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: _____ _____					[A] 1.1.2.			
3.02	Major Occupancy Classification:		Occupancy Group E		Use _____		3.1.2.1(f)				
3.03	Superimposed Major Occupancies:		<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____		_____		3.2.2.7				
3.04	Building Area (m²)		Description: _____		Existing _____ New _____ Total _____		[A] 1.4.1.2.				
3.05	Gross Area (m²)		Description: _____		Existing <u>0</u> New <u>779</u> Total <u>779</u>						
3.07	Building Height		<u>1</u> Storeys above grade <u>0</u> Storeys below grade		Existing <u>5.34</u> (m) Above grade		[A] 1.4.1.2. & 3.2.1.1.				
3.08	High Building		<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.6				
3.09	Number of Streets/ Firefighter access		<u>2</u> street(s)				3.2.2.10. & 3.2.5.				
3.10	Building Classification / (Size and Construction Relative to Occupancy)		<u>Major Classification:</u> <u>Group E, up to 2 Storeys, Sprinklered</u>					3.2.2.62.			
3.11	Sprinkler System		<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None					3.2.1.5. & 3.2.2.17.			
3.12	Standpipe System		<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required					3.2.9.			
3.13	Fire Alarm System		<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes					3.2.4.			
3.14	Water Service/ Supply is Adequate		Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes					3.2.20-83 & ...			
3.18	Occupant Load		Floor Level / Area	Occupancy Type	Type of Use	Based On	m² per person Load	Occupant Load (Persons)	3.1.17.		
			<u>799</u>	<u>Mercantile</u>	Basements And First Storeys	<u>m² per person</u>	<u>3.7</u>	<u>215</u>			
			<u>Residential</u>	Dwelling Units	Design of space	N/A	0				
3.19	Barrier-Free Design:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Explanation: _____				3.8		
3.20	Hazardous Substances:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Explanation: _____				3.3.1.2 & 3.3.1.19.		
3.21	Required Fire Resistance Rating:		Horizontal Assembly	Rating (H)	Supporting Assembly(H)	Noncombustible in lieu of rating?			3.2.2.62. 3.2.1.4		
			Floors over basement	N/A	N/A	N/A					
			Floors	0.75	0.75	N/A					
			Mezzanine	N/A	N/A	N/A					
			Roof	N/A	N/A	N/A					
3.22	Spatial Separation - Construction of Exterior Walls		FACE	Area of EBF (m²)	L/D or H/L	Permitted Max % of Openings (%)	Propose d % of Opening s (%)	FRR (Hours)	LISTED DESIGN OR DESCRIPTION	Exterior Wall Construction Type	Exterior Wall Cladding Type
			North	108.7	23.9 3.1 to 10:1	100.00	15.7	-	N/A	-	-
			South	63.7	29.9 3.1 to 10:1	100.00	25.7	-	N/A	-	-
			East	206.1	22.6 3.1 to 10:1	91.92	26.6	1hr	N/A	Combustible or Noncombustible	Combustible or Noncombustible
			West	225.7	47.6 3.1 to 10:1	100.00	43.2	-	N/A	-	-

8	2024-04-25	ISSUED FOR SPA	ETI
7	2024-03-26	ISSUED FOR REVIEW	MHB
6	2024-03-04	ISSUED FOR REVIEW	MHB
4	2023-07-20	ISSUED FOR SPA	TLA
1	2022-08-31	ISSUED FOR SPA	DCI
#	DATE	DESCRIPTION	BY

PROJECT

**LOUIS ST. LAURENT AVE. & BRONTE
STREET SOUTH**

MILTON, ON

DRAWING

BUILDING F
#SP-29/22 OBC MATRIX

PROJECT NO. 17.042		
PROJECT DATE 2023-12-22		
DRAWN BY TLA		
CHECKED BY JJJ		
SCALE		
DRAWING NO. A406		REV. 8

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the applicable codes and regulations of the jurisdiction and the drawings of the relevant disciplines for applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

Ontario Building Code Data Matrix						Building Code Reference
Part 3						
3.00	Building Code Version:	<u>O. Reg. 332/12</u>	Last Amendment	<u>451/22</u>		
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: _____ _____				[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy Group E <u>Mercantile</u> Use <u>Retail</u> _____				3.1.2.1(f)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____ _____				3.2.2.7
3.04	Building Area (m²)	Description: _____ _____	Existing _____	New _____	Total _____	[A] 1.4.1.2.
3.05	Gross Area (m²)	Description: _____	Existing _____	New _____	Total _____	[A] 1.4.1.2.
3.07	Building Height	<u>1</u> Storeys above grade <u>5.94...</u> (m) Above grade <u>0</u> Storeys below grade				[A] 1.4.1.2... 3.2.1.1.
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.6
3.09	Number of Streets/Firefighter access	<u>2</u> street(s)				3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	<u>Major Classification:</u> <u>Group E, up to 2 Storeys, Sprinklered</u>				3.2.2.62.
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None				3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required				3.2.9.
3.13	Fire Alarm System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required				3.2.4.
3.14	Water Service/ Supply is Adequate	Proposed: <input type="checkbox"/> Single... <input checked="" type="checkbox"/> Two Stage <input type="checkbox"/> None				
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> ... <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber... <input type="checkbox"/> No <input type="checkbox"/> Yes				3.2.20-83 & 3.2.1.4.0

3.1.8	Occupant Load	Floor Level / Area	Occupancy Type	Type of Use	Based On	m ² per person Load	Occupant Load (Persons)	3.1.17
		882	Mercantile	Basements And First Storeys	m ² per person	3.7	238	
			Residential	Dwelling Units	Design of space	N/A	0	
3.1.9	Barrier-Free Design:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.8
3.1.10	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.3.10 3.3.10
3.1.11	Required Fire Resistance...	Horizontal Assembly	Rating (H)	Supporting Assembly(H)	Noncombustible in lieu of rating?			3.2.11 3.2.14
		Floors over basement	N/A	N/A	N/A			
		Floors	0.75	0.75	N/A			
		Mezzanine	N/A	N/A	N/A			
		Roof	N/A	N/A	N/A			

3.22	Spatial Separation - Construction of Exterior Walls	FACE	Area of EBF (m ²)	L/D (m)	L/H	Permitted Max. No. of Openings (%)	Proposed % of Openings (%)	FRR (hours)	DESCRIPTION OF DESIGN OR LISTED	Exterior Wall Construction Type	Exterior Cladding Type	3.2.2
North	108.7	23.9	3.1 to 10.1	100.00	15.7	-	N/A	-	-	-	-	-
South	108.7	29.9	3.1 to 10.1	100.00	25.7	-	N/A	-	-	-	-	-
East	244.1	22.6	3.1 to 10.1	86.45	26.6	thr	-	-	-	Combustible or Noncombustible	Combustible or Noncombustible	-
West	244.1	47.6	3.1 to 10.1	100.00	43.2	-	N/A	-	-	-	-	-

2025-07-28	ISSUED FOR REVIEW	AMC	
2024-04-25	ISSUED FOR SPA	ETI	
2024-03-26	ISSUED FOR REVIEW	MHB	
2024-03-04	ISSUED FOR REVIEW	MHB	
2023-12-22	ISSUED FOR REVIEW	ASK	
2023-07-20	ISSUED FOR REVIEW	TLA	
2022-08-31	ISSUED FOR SPA	DCI	
#	DATE	DESCRIPTION	BY

fieldgate


PROJECT

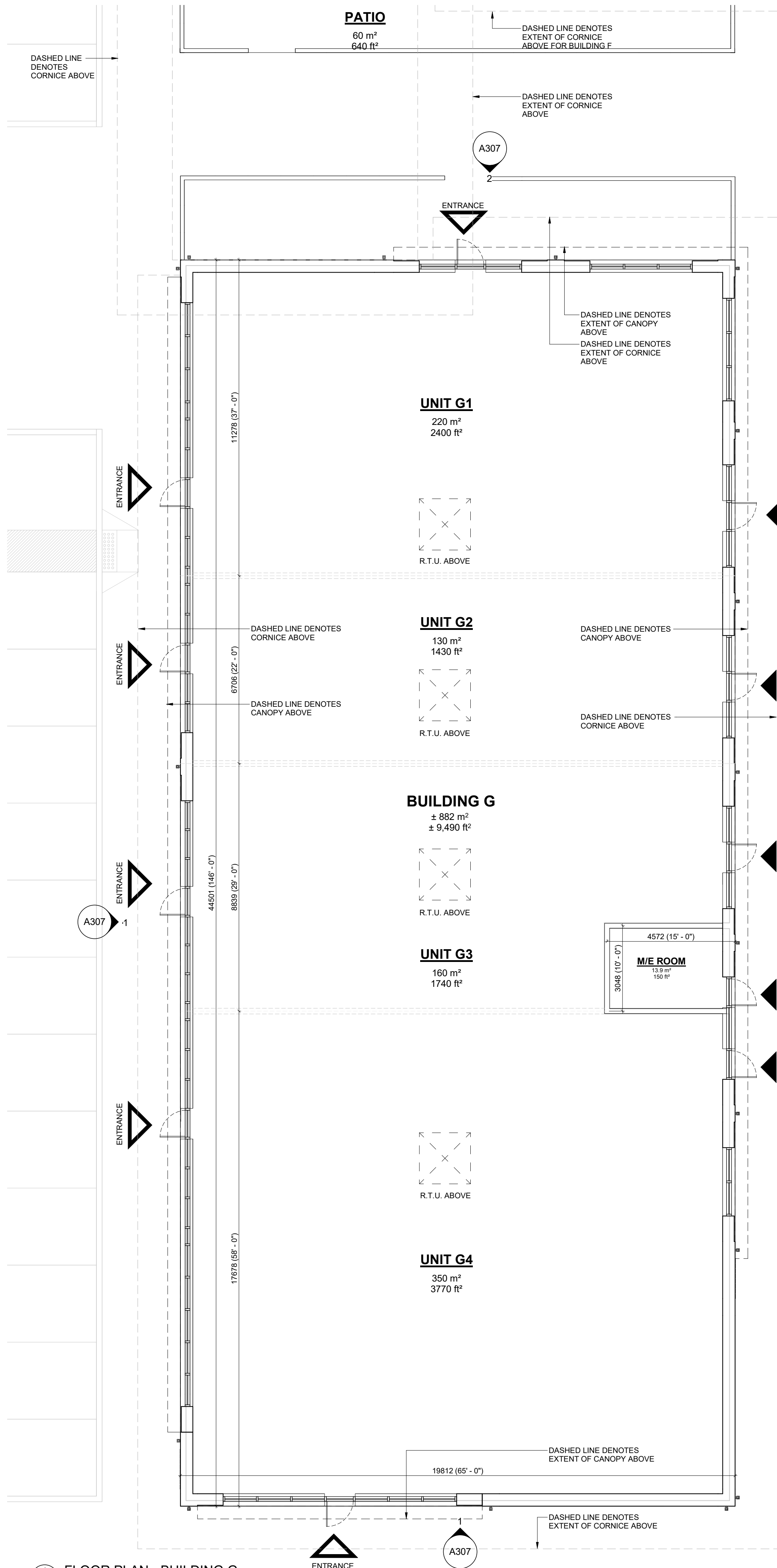
**LOUIS ST. LAURENT AVE. & BRONTE
STREET SOUTH**

MILTON, ON

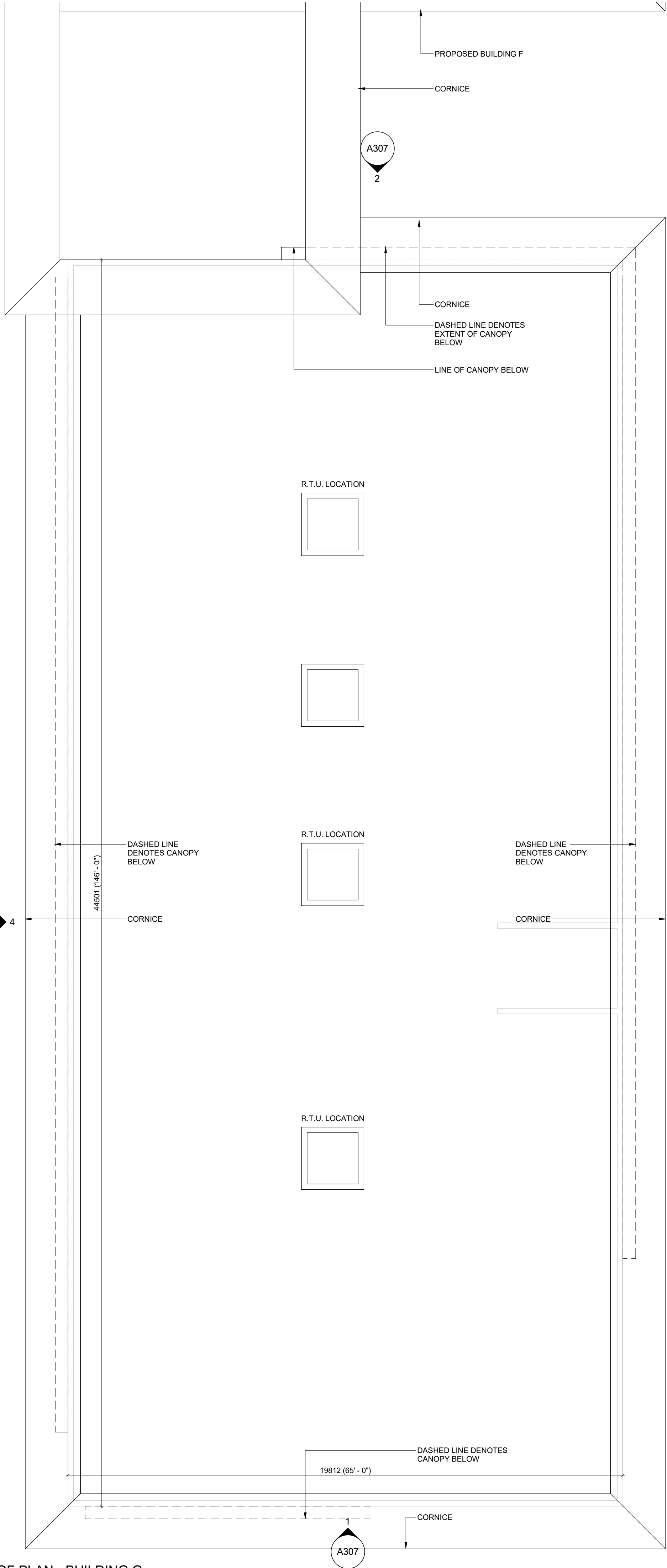
DRAWING

BUILDING G
#SP-29/22 FLOOR PLAN & ROOF PLAN

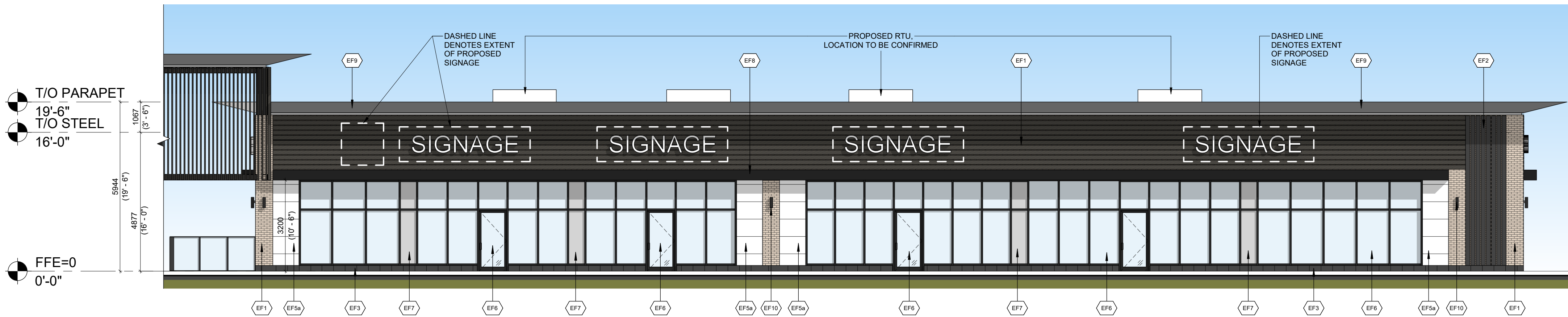
PROJECT NO. 17.042		DRAWING NO. <div style="font-size: 2em; font-weight: bold;">A207</div>	REV. <div style="font-size: 2em; font-weight: bold;">9</div>
PROJECT DATE 2023-12-22			
DRAWN BY DCI			
CHECKED BY JJJ			
SCALE 1/8" = 1'-0"			



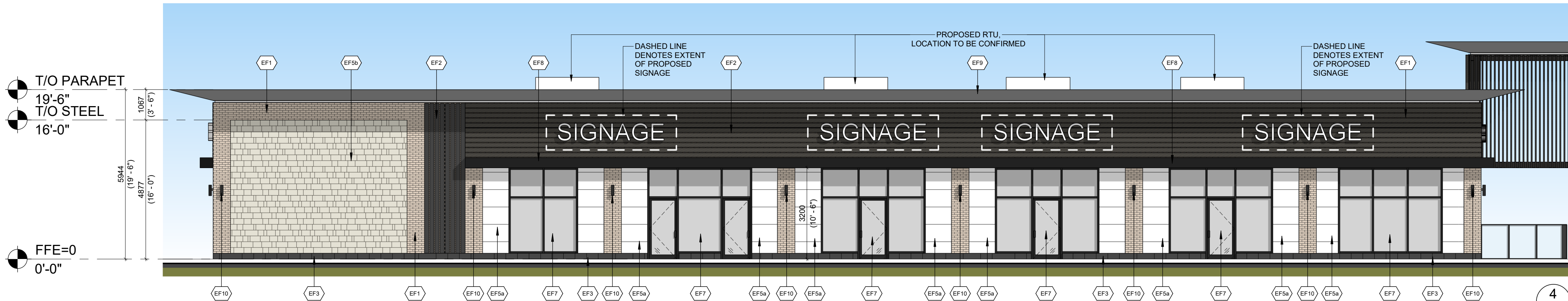
1 FLOOR PLAN - BUILDING G
A207 1/8" = 1'-0"



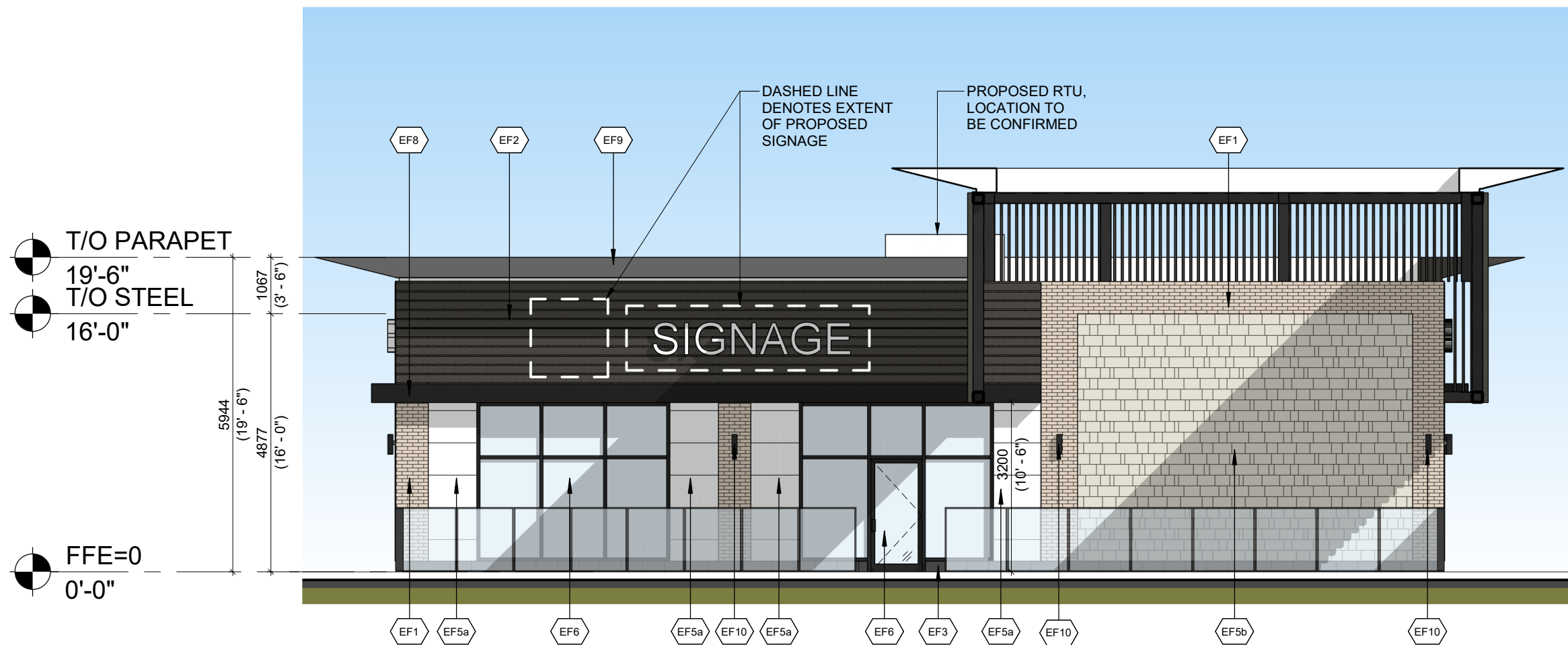
2 ROOF PLAN - BUILDING G
A207 1/8" = 1'-0"



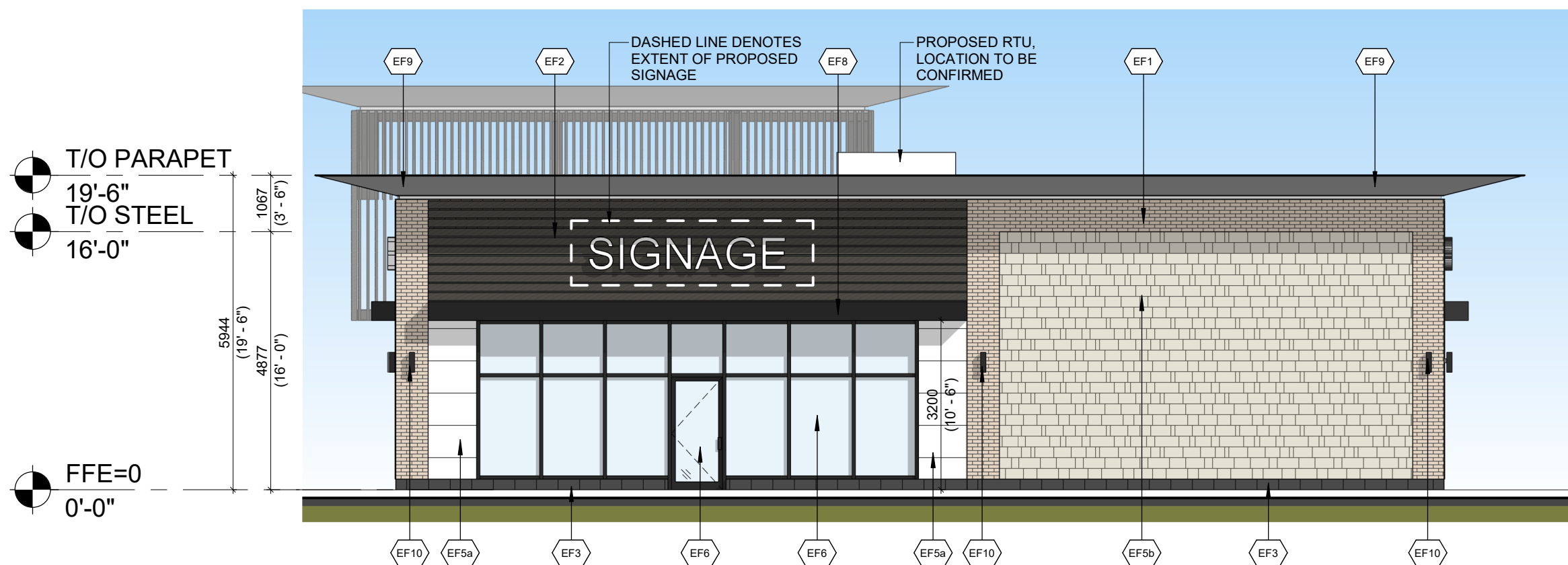
4 WEST ELEVATION - BUILDING G
A307 1/8" = 1'-0"



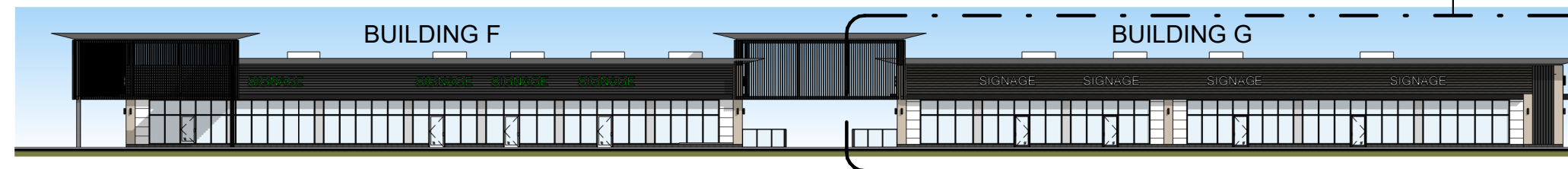
3 EAST ELEVATION - BUILDING G
A307 1/8" = 1'-0"



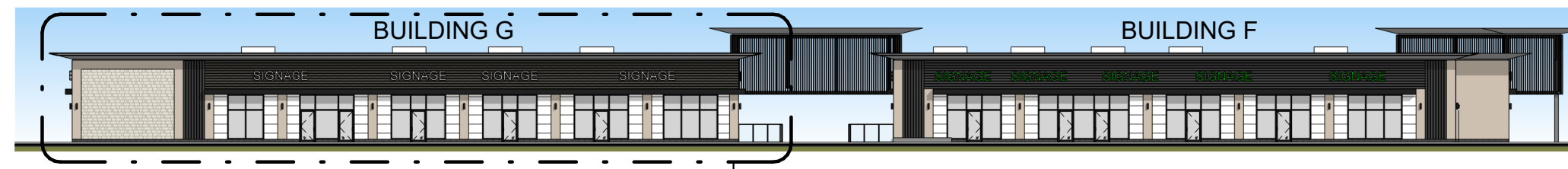
2 NORTH ELEVATION - BUILDING G
A307 1/8" = 1'-0"



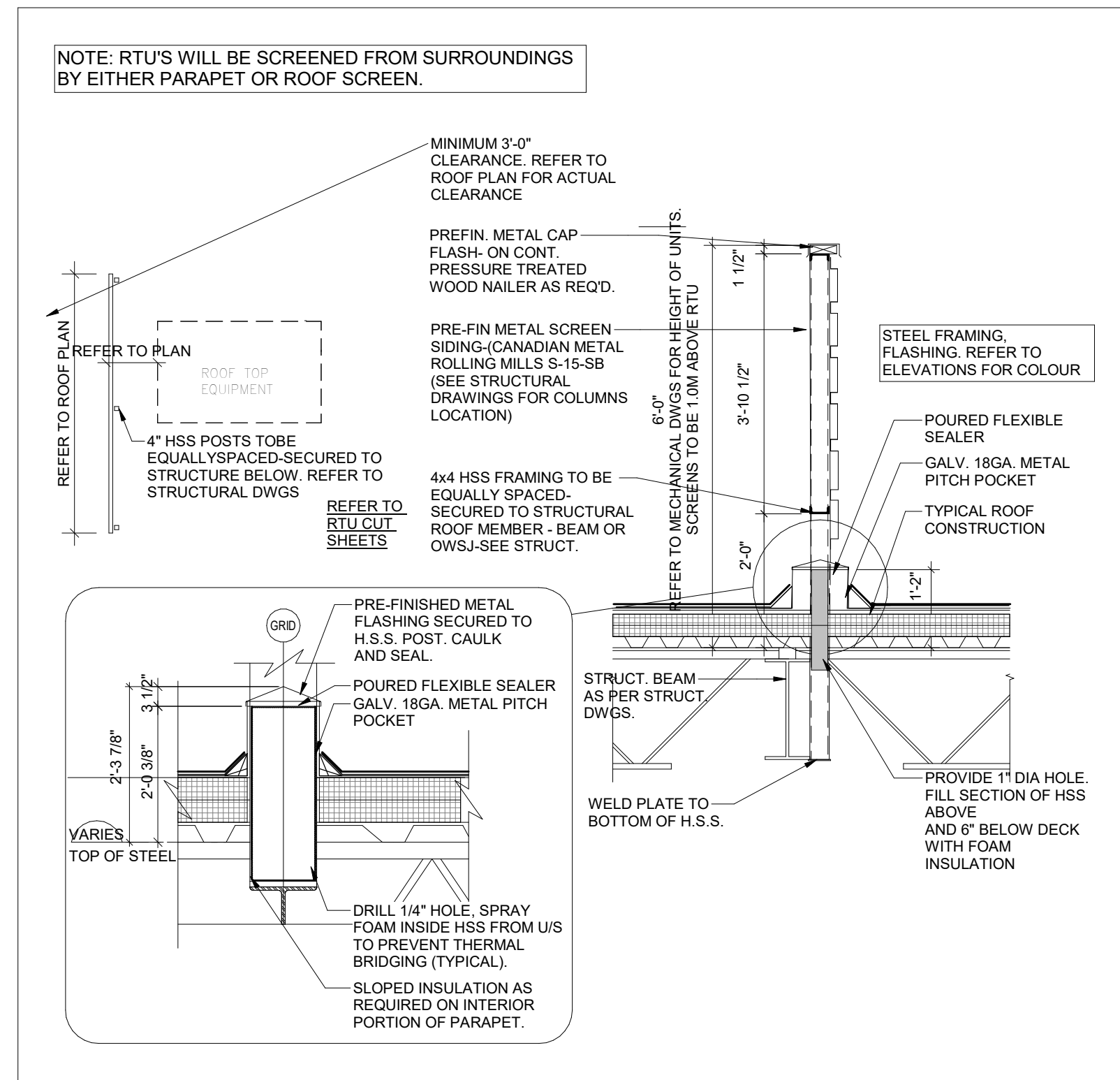
1 SOUTH ELEVATION - BUILDING G
A307 1/8" = 1'-0"



6 WEST ELEVATION - BUILDING F & G
A307 1/32" = 1'-0"



7 EAST ELEVATION - BUILDING F & G
A307 1/32" = 1'-0"



5 ROOF SCREEN DETAIL
A307 1/2" = 1'-0"

EXTERIOR FINISH SCHEDULE

EF1	CLAY BRICK: PRODUCT: BRAMPTON BRICK - CONTEMPORARY SERIES SIZE: 90 x 79 x 257 mm COLOUR: CHELSEA MORTAR: TO MATCH BRICK SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF2	ALUMINUM SLATS: PRODUCT: LONGBOARD SIZE: 4"x1" COLOUR: BURNT CHERRY SEE MANUFACTURER'S STANDARD
EF3	ARCHITECTURAL BLOCK: PRODUCT: BRAMPTON BRICK- PROFILE SERIES SIZE: 90 x 190 x 390 mm COLOUR: ACADEMY FINISH: QUARTZ MORTAR: TO MATCH BLOCK SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF4	ARCHITECTURAL BLOCK: PRODUCT: BRAMPTON BRICK - PROFILE SERIES SIZE: 90 x 190 x 390 mm COLOUR: POLAR WHITE FINISH: PLAIN MORTAR: TO MATCH BLOCK SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF5a	FIBRE-CEMENT FACADE PANEL: PRODUCT: EQUITONE- TECTIVA SIZE: 1220 x 2500-3050 x 8 mm COLOUR: TE90 (WHITE) SEE MANUFACTURER'S STANDARD SPECIFICATIONS FOR FASTENERS AND SUPPORT
EF5b	FIBRE-CEMENT SHINGLE SIDING: PRODUCT: HARDIESHINGLE - STRAIGHT EDGE PANEL SIZE: 1200 x 406 mm COLOUR: COBLESTONE SEE MANUFACTURER'S STANDARD SPECIFICATIONS FOR FASTENERS AND SUPPORT
EF6	GLAZED DOORS & WINDOWS: CLEAR LOW E DOUBLE GLAZING W/ THERMALLY BROKEN BLACK ANODIZED ALUMINUM FRAMES
EF7	SPANDREL GLAZED DOORS & WINDOWS: BLACK ANODIZED ALUMINUM FRAMES CLEAR GLASS UNIT WITH CUSTOM COLOUR COATING ON INBOARD SURFACE OF OUTERLITE (TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS) COLOUR: MOUSE GRAY
EF8	FASCIA CANOPY - ALUMINUM COMPOSITE PANEL: PRODUCT: ALPOLIC - (1/2" DRY JOINT) COLOUR: BLACK CONTRACTOR TO PROVIDE COLOUR/FINISH SAMPLE FOR OWNER APPROVAL PRIOR TO ORDERING OF MATERIALS
EF9	ALUMINUM COMPOSITE PANEL: PRODUCT: ALPOLIC COLOUR: SILVER METALLIC (OR SIMILAR REFLECTIVE COLOUR) REFER TO DETAILS FOR PROFILE
EF10	LIGHT FIXTURE: REFER TO ELEC. SPEC. FOR LIGHT FIXTURE
EF11	EXTERIOR SIGNAGE: SIGNAGE TO BE PROVIDED BY AND INSTALLED BY TENANT. SIGNAGE CONDUIT ROUGH-OUTS TO BE COORDINATED WITH TENANT.
EF12	ALUMINUM COMPOSITE PANEL: PRODUCT: ALPOLIC COLOUR: CNC CHARCOAL
EF13	ALUMINUM SLATS: PRODUCT: LONGBOARD SIZE: 6"x1" COLOUR: WHITE SEE MANUFACTURER'S STANDARD
EF14	STEEL COLUMN: PRODUCT: HHS TUBE, SQUARE SIZE: TBD COLOUR: CHARCOAL

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON, M5B 2T8
1-416-425-2222
turnerfleischer.com

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NOTE:
ALL RTUs ARE TO BE SCREENED BY PARAPET OR ROOF SCREENS.

9	2025-07-28	ISSUED FOR REVIEW	AMC
8	2024-04-25	ISSUED FOR SPA	ETI
7	2024-03-26	ISSUED FOR REVIEW	MMB
6	2024-03-04	ISSUED FOR REVIEW	MMB
5	2023-12-22	ISSUED FOR REVIEW	ASK
4	2023-07-20	ISSUED FOR REVIEW	TJA
1	2022-08-31	ISSUED FOR SPA	DCI
#	DATE	DESCRIPTION	BY

fieldgate

PROJECT
LOUIS ST. LAURENT AVE. & BRONTE STREET SOUTH
MILTON, ON

DRAWING
BUILDING G
#SP-29/22 ELEVATIONS

PROJECT NO.
17.042
PROJECT DATE
2023-12-22
DRAWN BY
DCI
CHECKED BY
JJJ
SCALE
As indicated

DRAWING NO.
A307
REV.
9