

## THE CORPORATION OF THE TOWN OF MILTON

### BY-LAW NO. XXX-2025

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT IN RESPECT OF THE LANDS DESCRIBED AS PART OF LOTS 7 and 8, CONCESSION 1, NEW SURVEY, 1000118982 ONTARIO LIMITED, SCHEDULE A, FILE Z-XX/25.

**WHEREAS** the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended;

**AND WHEREAS** the Town of Milton Official Plan provides for the lands affected by this by-law to be zoned as set forth in this by-law;

**NOW THEREFORE** the Council of the Corporation of the Town of Milton hereby enacts as follows:

**1.0 THAT** Schedule A to Comprehensive Zoning By-law 016-2014, as amended is hereby further amended by changing the existing Secondary Mixed Use Commercial – 329 (C2\*329), Residential Medium Density II – 330-H75 (RMDII\*330-H75), Residential High Density – 331 (RHD\*331), and Residential High Density – 332- H75-H76 (RHD\*332-H75-H76) to Secondary Mixed Use Commercial – YY (**C2-YY**), Residential Medium Density I – Site Specific 286 (**RMDI-286**), Residential Medium Density II – CC (**RMDII\*CC**), Residential Medium Density II – ZZ (**RMDII\*ZZ**), and Residential High Density – XX (**RHD\*XX**) zone symbols on the land shown on Schedule A attached hereto.

**2.0 THAT** Section 13.1 is amended by adding Section 13.1.1.\_\_\_\_ to read as follows:

#### **Secondary Mixed Use Commercial – Special Section (C2-YY) Zone:**

- a) For the purposes of this zone, the Lot Frontage for the east and west commercial blocks shall be Louis St. Laurent Avenue;
- b) Minimum front yard setback shall be 3.0 m;
- c) There shall be no maximum front yard setbacks;
- d) There shall be no maximum exterior side yard setback;
- e) Minimum exterior side yard setback shall be 3.0 m;

- f) Maximum building height shall be 11.0 m excluding rooftop mechanical features (i.e. parapets);
- g) Rooftop mechanical features, including parapets, shall be permitted to encroach past the maximum height of a building by an additional 3.0m;
- h) Minimum Landscaped Open Space shall be 8.0%;
- i) Minimum landscape buffer abutting a street shall be 0.0 m to Street B, 0.0 m to Bronte Street, 0.0 m to Louis St. Laurent, and 1.5 m to Street D;
- j) Minimum landscape buffer abutting a residential zone shall be 1.5 m;
- k) Minimum setback of a parking area to a streetline shall be 1.5 m (to Street D) and 0.0 m to Street B (Block 1B);
- l) Minimum setback of a parking area from a building shall be 0.0 m;
- m) Minimum setback of a patio to a parking area shall be 0.0 m;
- n) Minimum setback of loading space from a building shall be 1.1 m; and
- o) Parking shall be required at a rate of 1 space per 24 sq.m.

**3.0 THAT** Section 13.1 is amended by adding Section 13.1.1.\_\_\_\_ to read as follows:

Notwithstanding any provisions of the By-Law to the contrary, for lands zoned Residential Medium Density 1 \*CC (**RMD2\*CC**) the following standards and provisions also apply:

1. Special Zone Standards for 'Through Lot' Townhouse Dwellings:

- a) For lots located between Street 'B' and Street 'H', between Street 'B' and Street 'K', and between Street 'C' and Street 'I', the yard adjacent to Street 'H', Street 'K' and Street 'I' shall be considered the rear yard;
- b) The maximum height will be 12.5 m;
- c) A residential driveway may extend into the rear yard; and
- d) Section 4.21.3 shall apply to interior and corner lots;

**4.0 That** Section 13.1 of Comprehensive By-law 016-2014, as amended, is hereby further amended by adding subsection 13.1.1.\_\_\_\_ as follows:

Notwithstanding any provisions of the By-law to the contrary, for lands zoned site-specific Residential Medium Density 2\*ZZ (RMD2\*ZZ) zone, the following standards and provisions shall apply:

1. Special Zone Standards for 'Back to Back' Townhouse Dwellings:

- a) The minimum lot depth for a back-to-back townhouse dwelling shall be 12.4 m;
- b) The minimum front yard setback to building shall be 2.0 m; and
- c) The minimum exterior yard setback to building shall be 2.0 m if the yard abuts a right-of-way of less than 18.0 m wide.

**5.0 That** Section 13.1 of Comprehensive By-law 016-2014, as amended, is hereby further amended by adding subsection 13.1.1.\_\_\_\_ as follows:

Notwithstanding any provisions of the By-law to the contrary, for lands zoned site-specific Residential High Density \*XX (RHD\*XX) zone, the following standards and provisions shall apply:

I. Special Zone Standards for Apartment Buildings:

- a) The lot frontage shall be measured along Street 'D';
- b) The minimum front yard setback for an apartment building shall be 3.8 metres;
- c) The minimum interior side yard setback for an apartment building shall be 7.00 metres;
- d) The maximum height for an apartment building shall be 15 storeys (49) metres;
- e) Notwithstanding Table 5L to the contrary, the underground parking structure may be set back a minimum of 1.0 metres to the lot line and 1.0 metres to the street line, and in both instances shall be able to encroach into a landscape buffer;
- f) The minimum residential parking rate shall be provided at a rate of 1.2 spaces per unit; and
- g) Waste storage will not have to comply with the provisions of Section 4.14.2.v), and allow for waste to be stored in surface bins located at-grade,

- 5.0** If no appeal is filed pursuant to Section 34(19) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, or if an appeal is filed and the Ontario Land Tribunal dismisses the appeal, this by-law shall come into force on the day of its passing. If the Ontario Land Tribunal amends the by-law pursuant to Section 34 (26) of the *Planning Act*, as amended, the part or parts so amended come into force upon the day the Tribunal's Order is issued directing the amendment or amendments.

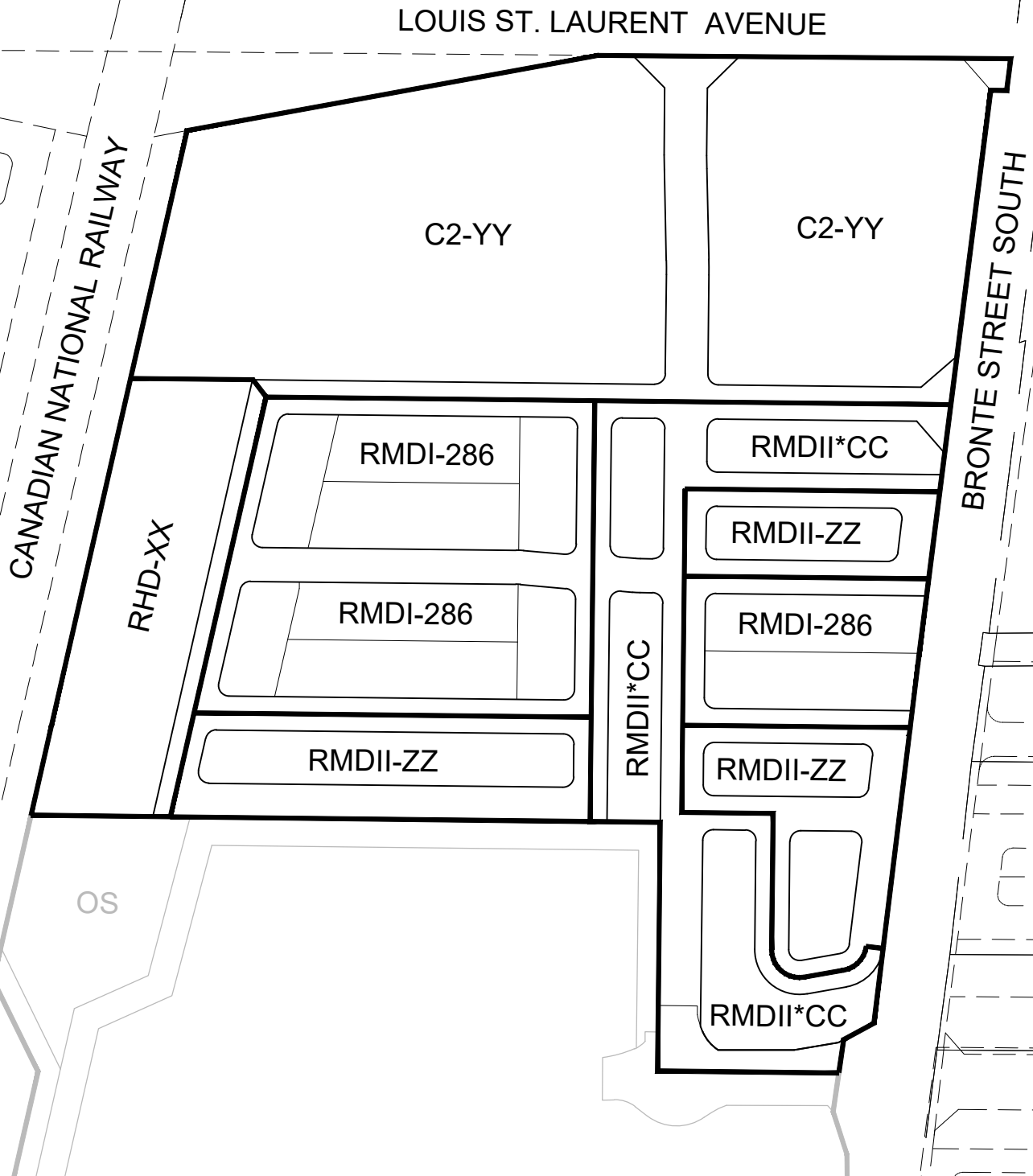
**READ A FIRST, SECOND AND THIRD TIME and FINALLY PASSED** this  
day of , 2025.

\_\_\_\_\_  
G.A. Krantz Mayor

\_\_\_\_\_  
M. Reid Town Clerk

SCHEDULE A  
TO BY-LAW No. \_\_\_\_\_ 2025  
TOWN OF MILTON

Part of Lots 7 & 8, Concession 1, New Survey  
Town of Milton, Regional Municipality of Halton



THIS IS SCHEDULE A  
TO BY-LAW No. \_\_\_\_\_, 2025.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

TO BE REZONED FROM "C2\*329", "RHD\*332-H75-H76", "RMD2\*330-H75" &  
"RHD\*331"  
TO:

"C2-YY" (SECONDARY MIXED USE COMMERCIAL - EXEMPTION \_\_\_\_)  
"RMDI-286" (RESIDENTIAL MEDIUM DENSITY 2 - EXEMPTION \_\_\_\_)  
"RMDII-ZZZ" (RESIDENTIAL MEDIUM DENSITY 2 - EXEMPTION \_\_\_\_)  
"RMDII-CC" (RESIDENTIAL MEDIUM DENSITY 2 - EXEMPTION \_\_\_\_)  
"RHD-XX" (RESIDENTIAL HIGH DENSITY - EXEMPTION \_\_\_\_)



Scale: N.T.S.  
August 6, 2025