



Terraprobe

Consulting Geotechnical & Environmental Engineering
Construction Materials Inspection & Testing

PHASE I ENVIRONMENTAL SITE ASSESSMENT 6583 TRAFALGAR ROAD MILTON, ONTARIO

Prepared for: **Hannover Trafalgar Farms Limited**
1039 Fourth Line,
Milton, ON
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Attention: **Mr. York Gruehl**

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TABLE OF CONTENTS

SECTION	PAGE
1.0 EXECUTIVE SUMMARY	1
2.0 INTRODUCTION.....	3
2.1 Phase I Property Information.....	3
3.0 SCOPE OF INVESTIGATION	4
3.1 Purpose of Investigation	4
3.2 Records Review	4
3.3 Interviews	5
3.4 Site Reconnaissance	5
3.5 Documentation and Evaluation of Information	6
4.0 SITE OVERVIEW.....	7
4.1 Site Description	7
4.2 Buildings	7
4.3 Utilities and Building Services	7
5.0 RECORDS REVIEW	8
5.1 General.....	8
5.1.1 Phase I Study Area Determination.....	8
5.1.2 First Developed Use Determination.....	8
5.1.3 Fire Insurance Plans and Insurance Inspection Reports.....	8
5.1.4 Chain of Title	8
5.1.5 City Directory Search	9
5.1.6 Environmental Reports	9
5.2 Environmental Source Information	9
5.2.1 ERIS.....	9
5.2.2 Other Source Information	9
5.3 Physical Setting Sources	11
5.3.1 Aerial Photographs and Historic Mapping	11
5.3.2 Topography, Hydrology, Geology	12
5.3.3 Fill Materials.....	12
5.3.4 Water Bodies, Wetlands and Areas of Natural Significance	13
5.3.5 Archaeological Resources or Areas of Archaeological Potential	14
5.3.6 Species at Risk	14
5.3.7 Well Records.....	14
5.4 Site Operating Records	15
6.0 INTERVIEWS	16
7.0 SITE RECONNAISSANCE.....	19
7.1 General Requirements.....	19
7.2 Specific Observations at Phase I Property	19
7.2.1 Building and Structure Descriptions.....	19
7.2.2 Designated Substances and Other Special Attention Items	20
7.2.3 Below Ground Structures.....	21
7.2.4 Above Ground Storage Tanks.....	21



7.2.5	Underground Storage Tanks	22
7.2.6	Exterior Site Conditions.....	22
7.3	Enhanced Investigation Property	23
7.4	Investigation of Phase I Study Area	23
7.5	Written Description of Investigation.....	23
7.6	Potentially Contaminating Activities	23
8.0	REVIEW AND EVALUATION OF INFORMATION.....	24
8.1	Potentially Contaminating Activities	24
8.2	Areas of Potential Environmental Concern	24
9.0	CONCLUSIONS	26
9.1	Signatures	27
10.0	REFERENCES	28
11.0	LIMITATIONS AND USE OF THE REPORT	29

FIGURES

- Figure 1 – Site Location
- Figure 2 – Site Plan
- Figure 3 – Phase I Study Area
- Figure 4 – Adjacent Property Uses
- Figure 5 – Potentially Contaminating Activities
- Figure 6 – Areas of Potential Environmental Concern

APPENDICES

- Appendix A – Opta Environmental Services Documentation
- Appendix B – Parcel Register
- Appendix C – ERIS Report
- Appendix D – Regulatory Responses
- Appendix E – Aerial Photographs, Historic Maps
- Appendix F – Topographic Map and Geological Mapping
- Appendix G – Well Records
- Appendix H – Site Photographs



1.0 EXECUTIVE SUMMARY

Terraprobe Inc. was retained by Hannover Trafalgar Farms Limited to complete a CSA Standard Z768-01 Phase I Environmental Site Assessment for the Property located at 6583 Trafalgar Road in Milton, Ontario.

The Property is irregular in shape, with a total area of approximately 30 hectares (75 acres). The Property has a frontage of approximately 350 metres along the east side of Trafalgar Road and extends to the northeast approximately 660 m.

In accordance with Ontario Regulation 153/04 (O.Reg. 153/04), the Property is considered to be in mixed residential and agricultural or other property use as defined by the Ministry of the Environment, Conservation and Parks (MECP). The Phase I ESA is required for due diligence purposes. A Record of Site Condition is not a mandatory requirement with the MECP, as the Property is not undergoing a change in Property use to a more sensitive use. If, in the future, a Record of Site Condition becomes a requirement, the Phase I ESA will require updates to satisfy the requirements of O.Reg. 153/04.

The objective of the investigation was to review historical information and document existing conditions to identify obvious or potential environmental liabilities. The work included a review of the historical development/use of the Property and a visual inspection of the Property.

At the time of the assessment, the southwest portion of the Property was developed with a two-storey residence and associated outbuilding. The remainder of the Property was in agricultural use. The Property was developed for its current use prior to 1946. Historically, the Property and adjacent properties were undeveloped or in agricultural and residential property use.

Based on the records reviewed and the site inspection, Potentially Contaminating Activities (PCAs) were identified on the Phase I Property and within the Study Area that may impact the environmental condition of the Property and lead to Areas of Potential Environmental Concern (APECs).

On-Site PCAs

- #40 – Pesticides (including herbicides, fungicides and anti-fouling agents) manufacturing, processing, bulk storage and large scale application
- #30 – Importation of fill material of unknown quality

The Phase I ESA identified two (2) Areas of Potential Environmental Concern (APECs) caused by two (2) on-site PCAs. The APECs have been divided into two (2) physical area groups on the Property as seen on Figure 6.

On the basis of the above, in order to eliminate the Areas of Potential Environmental Concern that have been identified on the Property, an environmental soil and ground water investigation would need to be completed.



If a Record of Site Condition is required in the future, a Phase I ESA Update and Phase Two Environmental Site Assessment meeting the O.Reg. 153/04 standard would be required to investigate the Areas of Potential Environmental Concern that have been identified on the Property.



2.0 INTRODUCTION

Terraprobe Inc. was retained by Hannover Trafalgar Farms Limited to complete a CSA Standard Z768-01 Phase I Environmental Site Assessment for the Property located at 6583 Trafalgar Road in Milton, Ontario.

The Property is irregular in shape, with a total area of approximately 30 hectares (75 acres). The Property has a frontage of approximately 350 metres along the east side of Trafalgar Road and extends to the northeast approximately 660 m. The general location of the Property is presented on Figure 1. The layout of the Property and notable features are presented on Figure 2.

In accordance with Ontario Regulation 153/04 (O.Reg. 153/04), the Property is considered to be in mixed residential and agricultural or other property use as defined by the Ministry of the Environment, Conservation and Parks (MECP). The Phase I ESA was required for due diligence purposes. A Record of Site Condition is not a mandatory requirement with the MECP, as the Property is not undergoing a change in Property use to a more sensitive use. If, in the future, a Record of Site Condition becomes a requirement, the Phase I ESA will require updates to satisfy the requirements of O.Reg. 153/04.

The objective of the study was to assess the environmental condition of the Property to identify issues of potential or obvious environmental concern. The work included an assessment of the likelihood that the environmental quality of the soil and ground water at the site may have been adversely affected by past and/or present practices at the site and/or from activities on the surrounding properties.

The Phase I ESA was completed to satisfy the intent of the requirements, methodology and practices described in CSA Standard Z768-01. The Phase I ESA involves two main tasks - a review of historical site use and activities, and an inspection of the Property. The detailed scope of work for the Phase I ESA is outlined in the Standard.

Sampling and analysis of soil, ground water and/or other materials (i.e., construction material, air) for the purpose of assessing environmental quality were not carried out as part of the Phase I ESA. The potential for environmental liability and/or environmental impact is an opinion that has been arrived at within the scope of this assessment.

2.1 Phase I Property Information

Municipal Address	6583 Trafalgar Road, Milton, Ontario
Legal Description	PT LT 9, CON 8 TRAF NS, PT1, 20R19009.; TOWN OF MILTON
PIN(s)	PIN: 24938-0144 (LT)
Zoning	The Property is zoned A1 (agricultural zone) as per Town of Milton Rural Zoning By-law No. 144-2003
Area	Approximately 30 hectares (75 acres)
Property Owner Information	Hannover Trafalgar Farms Limited 1039 Fourth Line Milton, ON L9T 6P9
Persons, other than Property Owner, who engaged the Qualified Person to conduct the Phase I ESA	None



3.0 SCOPE OF INVESTIGATION

3.1 Purpose of Investigation

The Phase I ESA was conducted to satisfy the intent of the requirements, methodology and practices for a Phase I ESAs as described in CSA Standard Z768-01, as amended (CSA 768-01). The objectives of the Phase I ESA were:

- to develop a preliminary determination of the likelihood that one or more contaminants have affected any land or water on, in or under the Property;
- to determine the need for a Phase II Environmental Site Assessment;
- to provide a basis for carrying out any Phase II Environmental Site Assessment that may be required; and,
- to provide adequate preliminary information about environmental conditions in the land or water on, in or under the Property for conducting a Risk Assessment following completion of a Phase II Environmental Site Assessment (if required).

The Phase I ESA involved the following principal tasks:

- a review of records and reports regarding historical and current use and activities for the Property and Study Area;
- interviews with available individuals having knowledge of current and/or past site activities;
- an inspection of the Property and observation of the Study Area; and,
- the evaluation of the information obtained and documentation of the results of the review.

Sampling and analysis of soil, ground water, or other materials (e.g., construction materials, air) was not conducted as part of Phase I ESA.

3.2 Records Review

The records review provides information on historical and current activities. The objectives of the records review were:

- to obtain and review records that relate to the current and past uses, site features and activities at the Property;
- to obtain and review records that relate to Potentially Contaminating Activities (PCAs), water bodies, and areas of natural significance in the Phase I Study Area and the Property; and,
- based on the above, to provide an assessment of actual and/or potential contaminating activities and concerns with respect to the environmental condition of the Property.

The sources of information (if applicable) that were reviewed included:

- archival information for the Property including aerial photographs, topographic maps, historical maps and drawings;
- property specific environmental reports and/or operating records (e.g., Certificates of Approval, waste generator registration, approvals, permits) provided to Terraprobe Inc.;
- geological and hydrogeological information in published government maps, reports, and/or data bases;
- data bases maintained by Environmental Risk Information Services (ERIS) containing environmentally related information from private, provincial, and federal sources;
- available fire insurance plans and insurance inspection reports on file with Opta Information Intelligence;
- published Ontario (MECP) directories related to active and closed landfill sites;
- Ontario Ministry of Natural Resources and Forestry (MNRF) Natural Heritage Information Centre data base for information specific to natural areas, such as locations of environmentally sensitive areas;
- published information regarding the Official Plan and zoning information for the area;
- sensitivity mapping by the local Conservation Authority; and,
- wellhead protection mapping by the local Conservation Authority/MECP.

3.3 Interviews

The objectives of the interview were to review site activities to identify PCAs and/or potential contaminant pathways in, on, or under the Property. Key personnel were interviewed and asked questions related to specific site activities, such as:

- the nature of the operations;
- handling and storage of environmentally sensitive products and related wastes;
- environmental approvals and registrations;
- knowledge of previous reports related to the environmental condition of the Property;
- issues related to non-compliance, orders, or charges related to environmental conditions on the Property; and,
- construction and/or renovation work conducted on the Property.

3.4 Site Reconnaissance

The objectives of the site reconnaissance were:

- to identify PCAs on the Property based on observations of current and past uses;
- to identify PCAs in the Study Area based on observations of current and past uses; and,



- to identify potential pathways for contamination migration at the Property and Study Area

The site reconnaissance included a review and evaluation of PCAs, including the following:

- activities and practices including site operations, processes and waste management currently carried out on the Property;
- evidence of past waste disposal, landfill or fill placement on the Property;
- the presence of hazardous or toxic chemicals, materials or processes on the Property;
- the presence of existing or former aboveground or underground fuel storage tanks on the Property;
- identification of heating and cooling systems on the Property;
- the presence of floor cracks, hydraulic hoists, elevators, sumps and drains, wells, pits and lagoons on the Property;
- identification of water supply source to the Property;
- a review of waste management activities (generation, storage and disposal);
- identification of waste water discharges;
- the presence of various designated substances and building materials, including friable and non-friable asbestos, PCB-containing materials and electrical equipment, lead-based paint, mould, and chlorofluorocarbons (CFCs) in air-conditioning and refrigeration equipment on the Property; and,
- evidence of stained or odorous soils and stressed vegetation on the Property.

In addition, an inspection of adjacent properties and the properties located within the Phase I Study Area was completed. The inspection of off-site properties was completed to identify PCAs, which may cause an Area of Potential Environmental Concern (APEC) to be identified for the Property. The inspection of off-site properties was limited to inspection from the Property boundaries and from publicly accessible areas (roads, sidewalks, etc.).

3.5 Documentation and Evaluation of Information

The information obtained from the records review, interviews and site reconnaissance was described, documented and evaluated as summarized below:

- documentation of information, as noted in subsequent sections of the report;
- description of past occupants and site uses;
- description of PCAs; and,
- description of APECs.



4.0 SITE OVERVIEW

4.1 Site Description

The Property is irregular in shape, with a total area of approximately 30 hectares (75 acres). The Property has a frontage of approximately 360 metres along the east side of Trafalgar Road and extends to the northeast for approximately 660 m. The general location of the property is presented on Figure 1.

At the time of the assessment, the southwest portion of the Property was developed with a two-storey residence and associated outbuilding. The remainder of the Property was in agricultural use. The Property was developed for its current use prior to 1946. Property features are presented on Figure 2.

4.2 Buildings

At the time of the site assessment, the southwest portion of the Property was occupied by a two-storey residence and associated outbuilding. Additional details related to the buildings (building use, construction materials, etc.) are presented in Section 7.0 of this report.

4.3 Utilities and Building Services

The Property is located in a rural setting. The Property is serviced with a private drinking water well and private septic system. Other public and private utilities (i.e., hydro) service the Property.



5.0 RECORDS REVIEW

5.1 General

5.1.1 Phase I Study Area Determination

The Phase I Study Area (Study Area) consisted of the area including the Property and any other properties that are located, wholly or partly, within 250 m of the Property. Based on the geology and the historical development and land use on the Property and surrounding area, the Qualified Person determined that a 250 m radius around the Property was sufficient to identify PCAs that could potentially cause adverse impact on the Property. No additional properties outside the 250 m radius were included in the Study Area.

5.1.2 First Developed Use Determination

The determination of first developed use was based on the review of aerial photographs, historical mapping, and property ownership records. The details and evaluation of the above noted information sources are provided in subsequent sections of this report.

Based on the evaluated information, the Property was in rural residential and agricultural use prior to 1946. The 1946 aerial photograph indicates large structures, interpreted to be barns/outbuildings, and a smaller interpreted residential sized building on the southwest portion of the Property.

5.1.3 Fire Insurance Plans and Insurance Inspection Reports

Opta Information Intelligence (Opta) is a private organization that provides risk information to insurers, private corporations, and risk managers. Opta was contracted to determine whether their records included any Insurance inspection reports, Fire Insurance Plans (FIP), or site-specific plans for the property. No records were available for the Property or properties within the search area. A copy of the OPTA report is provided in Appendix A.

5.1.4 Chain of Title

A Chain of Title search for the Property dating back to Crown ownership was prepared for Terraprobe by a freelance title search consultant. Property ownership is summarized below:

- The Property passed from Crown ownership to Kings College on January 3, 1828;
- The Property was owned by Kings College from 1828 until 1854. Between 1854 and 1989 the Property was owned by various private individuals;
- Since 1989, ownership has been by both corporate entities and private individuals;
- Hannover Trafalgar Farms Limited, the current owner, acquired the Property on March 22, 2012.

The ownership information gave no indication of the use of the Property. No PCAs were identified through the ownership titles.



A parcel register and chain of title information for the Property are provided in Appendix B.

5.1.5 City Directory Search

The Property has been in residential or agricultural use since it was first developed. Occupancy has been by private individuals. On this basis, a city directory search was not completed as part of this assessment.

5.1.6 Environmental Reports

The client indicated that there have been no previous environmental assessments or reports completed for the Property.

5.2 Environmental Source Information

5.2.1 ERIS

Environmental Risk Information Services Ltd. (ERIS) is an organization that maintains and searches various government and private databases for property-related environmental information. A search of the ERIS databases was requested for the Property and Study Area. The ERIS Report is provided in Appendix C. There was one (1) record found for the Property. There were thirty (30) records found for the properties within the Study Area (250 m radius around the Property).

Property

- One (1) Water Well Information System

Study Two (2) ERIS Historical Searches

- Seven (7) Ontario Regulation 347 Waste Generators Summary
- Fourteen (14) Pesticide Register
- One (1) Ontario Spills
- Five (5) Water Well Information System

On the basis of the above, the following have been identified as PCAs:

Location of PCA	PCA	Details
Between 6583 and 6541 Trafalgar Road 11 m southwest	NA ¹ – Spill	25 L diesel fuel from transport truck to gravel shoulder.

5.2.2 Other Source Information

The following other environmental information sources were searched as part of the Phase I ESA.

- A Freedom of Information (FOI) request was made to the MECP. The FOI request determines if information regarding orders, investigations or other information on file with respect to the Property.
- The Technical Standards and Safety Authority (TSSA) was contacted in regards to records related to storage tanks for petroleum related products with respect to the Property.
- The local conservation authority (Conservation Halton) regulation mapping was reviewed to determine if the Property was considered regulated under the Conservation Authorities Act and Ontario Regulation 162/06.
- Municipal Zoning for Milton was reviewed.

The information requests and responses are provided in Appendix D and are summarized below.

Information Request	Response
MECP FOI	A request to the MECP for the FOI was made on January 31, 2020. A response for the FOI has not been received as of the date of this report.
TSSA	A request was made to the TSSA on January 14, 2020. The response from the TSSA on January 15, 2020, indicated that they have no records indicating the presence of fuel storage tanks on the Property.
Conservation Authority	The Halton Region Conservation Authority's (CH) online regulation mapping database was accessed on January 15, 2020. The database indicated that the northern portion of the Property and a small area at the southwest side of the Property was located within an area regulated by the Conservation Authority. The regulated area at the north was related to a MNR wetland located at the north corner of the Property. The small area at the southwest side of the Property is the regulation limit for East Sixteen Mile Creek located approximately 270 metres to the southwest.
Zoning	Zoning information was accessed on January 9, 2020. According to the Town of Milton's Rural Zoning by law # 144-2003, the property is zoned A1 (agricultural zone).

In addition, the Town of Milton Official Plan consolidated in August 2008 and the Region of Halton Official Plan consolidated on June 19, 2018 were reviewed. The following relevant environmental information was provided in these documents:

Figure	Comments
Town of Milton Official Plan	
Schedule A – Land Use Plan	The Property is in an area designated as an agricultural area.
Schedule G – Site of Potential Contamination and Mineral Resource Extraction Areas	The Property is not located within or adjacent to a site of potential contamination or a mineral resource extraction area.



Region of Halton Official Plan	
Map 1 – Regional Structure	The Property is located in an area designated as an urban area with a Regional Natural Heritage System at the east and south side of the Property. This Natural Heritage System is interpreted to be associated with East Sixteen Mile Creek and its tributaries.
Map 1A – Provincial Plan Area and Land Use Designations	Property identified within the Parkway Belt West Plan Area
Map 1D – Municipal Wellhead Protection Zones	The Property is not located within a municipal wellhead protection zone.
Map 1E – Agricultural System and Settlement Areas	The Property is not located within a prime agricultural area.
Map 1F – Identified Mineral Resource Areas	The Property is not located within an identified mineral resource area.
Map 1G – Key Features within the Greenbelt and Regional Natural Heritage Systems	A key feature within the Greenbelt and Natural Heritage system is located on the northern portion of the Property.
Map 5 – Regional Phasing	The Property is within an area designated as an urban area with regional phasing between 2021 and 2031.

5.3 Physical Setting Sources

5.3.1 Aerial Photographs and Historic Mapping

Aerial photographs and satellite imagery dating back to 1946 were reviewed. Aerial photographs and satellite images were selected based on available dates and scale in order to provide as much information as reasonably practical regarding the development of the Property and Study Area from first developed land use until the present development of the Property. The state of development of the Property and surrounding area is summarized below:

Date	Source	Property	Study Area
1946	Aerial Photograph	Three large interpreted outbuildings and one residential sized building are located on the southwest portion of the Property. Rows of trees, interpreted to be an orchard, are depicted on the south portion of the Property.	A road, interpreted to be Trafalgar Road is developed to the southwest of the Property. Surrounding properties appear to be in agricultural and rural residential use.
1965	Aerial Photograph	A driveway is depicted leading to a small building on the north portion of the Property. The use of the building could not be determined.	No significant changes.



Date	Source	Property	Study Area
1983	Ontario Base Map	Three buildings are depicted on the southwest portion of the Property. The structure formerly present on the north portion of the Property no longer present.	Sixteen Mile Creek is depicted to the south of the Property.
2009	Satellite Image	A large pond is depicted east of the interpreted residential building. One of the buildings formerly located on the southwest portion of the Property, north of the residence, is no longer depicted.	No significant changes.
2018	Satellite Image	The large pond, formerly present east of the house is no longer depicted.	No significant changes.

Aerial photographs are presented in Appendix E.

5.3.2 Topography, Hydrology, Geology

A topographic map from the MNRF and the geological mapping produced by the Ontario Division of Mines and the Ontario Geological Survey were reviewed. The information collected from the mapping is summarized below. Topographic and Geological mapping is provided in Appendix F.

Topography	The ground surface elevation in the vicinity of the Property is approximately 192 m above mean sea level and approximately 5 metres above the level of East Sixteen Mile Creek, located to the southwest. The ground surface in the area of the Property slopes to the southwest.
Hydrology	The nearest water body is East Sixteen Mile Creek located approximately 270 m southwest of the Property. The approximate depth to ground water is 3.0 m below ground surface as indicated by the one well record located on the Property. Ground water is interpreted to flow towards the southwest.
Geology (overburden)	Based on published geological information for the general area, the near surface soil at the central portion of the Property and in the vicinity of the Property consists of Pleistocene age Deltaic and Lacustrine deposits of predominately gravelly sand and silty sand. The northern and southeastern portion of the Property consists of Glaciolacustrine deposits comprised of massive to laminated silt and clay, and may contain poorly sorted diamicton layers. The southwestern side of the Property is comprised of Halton Till: red to brown, gritty to clayey silt till alongside Cenozoic Modern Alluvium undifferentiated gravel, sand, silt, clay and muck.
Geology (bedrock)	The bedrock under the Property is Upper Ordovician Queenston Formation. The Queenston Formation consists of red shale with interlayers of green shale and minor interbeds of limestone and dolomite.
Geology (depth to bedrock)	Based upon published information, the depth to bedrock in wells on the Property and within the Study Area ranges from approximately 10 to 14.5 metres below ground surface.

It should be noted that the subsurface soil and bedrock conditions described above represent generalized conditions only, and should not be considered site-specific.

5.3.3 Fill Materials

It was reported by the Property owner's representative, Mr. York Gruehl, that the pond identified in the 2009 aerial photo located east of the residence was dug in 2000 and was backfilled in 2010. It was reported that soil used to backfill the pond was clay taken from depth at an off-site source. Mr. Gruehl



indicated that the material had been tested prior to placement in 2010 and it was determined to be clean. Information on the parameters that were tested and the soil chemical analysis results were not provided to Terraprobe for review. On this basis, the quality of the backfill material used in the area of the pond is unknown.

Location of PCA	PCA	Details
6583 Trafalgar Road Subject Property	#30 – Importation of fill material of unknown quality.	Backfilling of a large pond, located east of the residence, occurred in 2010. The quality of the material used to backfill the pond could not be confirmed.

5.3.4 Water Bodies, Wetlands and Areas of Natural Significance

Mapping from the MNRF was reviewed to determine if water bodies were present on the Property and within the Study Area. The MNRF National Heritage Information Centre database for listings of Areas of Natural or Scientific Interest (ANSIs) was reviewed. The information is summarized below.

Water Bodies (Property)	<ul style="list-style-type: none">No bodies of water were identified on the Property.
Water Bodies (Study Area)	<ul style="list-style-type: none">The nearest water body is East Sixteen Mile Creek, located approximately 270 m southwest of the Property.
Wetland (Property)	<p><u>Provincially Significant</u></p> <ul style="list-style-type: none">No Provincially Significant wetlands were present on the Property <p><u>Non-Provincially Significant</u></p> <ul style="list-style-type: none">No Non-Provincially Significant wetlands were present on the Property <p><u>Unevaluated</u></p> <ul style="list-style-type: none">One Unevaluated wetland was present on the northern portion of the Property
Wetland (Study Area)	<p><u>Provincially Significant</u></p> <ul style="list-style-type: none">No Provincially Significant wetlands were present in the Study Area. <p><u>Non-Provincially Significant</u></p> <ul style="list-style-type: none">No Non-Provincially Significant wetlands were present in the Study Area <p><u>Unevaluated</u></p> <ul style="list-style-type: none">Unevaluated wetlands were present in the Study Area to the west and northeast of the Property.
ANSIs (Property)	<p><u>Provincially Significant Life Science ANSI</u></p> <ul style="list-style-type: none">No Life Science ANSIs were identified on the Property. <p><u>Provincially Significant Earth Science ANSI</u></p> <ul style="list-style-type: none">No Earth Science ANSIs were identified on the Property.



Water Bodies (Property)	<ul style="list-style-type: none">• No bodies of water were identified on the Property.
Water Bodies (Study Area)	<ul style="list-style-type: none">• The nearest water body is East Sixteen Mile Creek, located approximately 270 m southwest of the Property.
Wetland (Property)	<p><u>Provincially Significant</u></p> <ul style="list-style-type: none">• No Provincially Significant wetlands were present on the Property <p><u>Non-Provincially Significant</u></p> <ul style="list-style-type: none">• No Non-Provincially Significant wetlands were present on the Property <p><u>Unevaluated</u></p> <ul style="list-style-type: none">• One Unevaluated wetland was present on the northern portion of the Property
Wetland (Study Area)	<p><u>Provincially Significant</u></p> <ul style="list-style-type: none">• No Provincially Significant wetlands were present in the Study Area. <p><u>Non-Provincially Significant</u></p> <ul style="list-style-type: none">• No Non-Provincially Significant wetlands were present in the Study Area <p><u>Unevaluated</u></p> <ul style="list-style-type: none">• Unevaluated wetlands were present in the Study Area to the west and northeast of the Property.
ANSIs (Property)	<p><u>Provincially Significant Life Science ANSI</u></p> <ul style="list-style-type: none">• No Life Science ANSIs were identified on the Property. <p><u>Provincially Significant Earth Science ANSI</u></p> <ul style="list-style-type: none">• No Earth Science ANSIs were identified on the Property.
ANSIs (Study Area)	<p><u>Provincially Significant Life Science ANSI</u></p> <ul style="list-style-type: none">• No Life Science ANSIs were identified in the Study Area. <p><u>Provincially Significant Earth Science ANSI</u></p> <ul style="list-style-type: none">• No Earth Science ANSIs were identified in the Study Area.

5.3.5 Archaeological Resources or Areas of Archaeological Potential

The Property is not designated as of provincial heritage significance under the Ontario Heritage Act. No additional archaeological evaluation of the Property was conducted as part of the Phase I ESA.

5.3.6 Species at Risk

No science-based assessment of potential species at risk or species habitat was conducted as part of the Phase I ESA.

5.3.7 Well Records

The MECP well records database was searched through ERIS and through the MECP online Water Well Database for records located on the Property and in the Study Area (within 250 m). The information from



the Well Records review is summarized below. Well record information is provided in Appendix G.

Water Wells (Property)	<ul style="list-style-type: none">One drinking water well was located on the Property.One observation well was located on the Property.
Water Wells (Study Area)	<ul style="list-style-type: none">Five observation wells are listed in the database for the Study Area
Stratigraphy	<p>Based on monitoring well information from wells located on the Property, the stratigraphy is summarized as follows:</p> <ul style="list-style-type: none">Surface to approximately 5.4 m: grey silty sand5.4 m to 9.1 m: grey clay, silty, stones9.1 to 9.7: red sand, clay, stones9.7 m: red shale
Depth to Water Table	<ul style="list-style-type: none">Based on monitoring well information from wells located in the Study Area, the depth to the water table is approximately 3.0 metres below ground surface.
Depth to Bedrock	<ul style="list-style-type: none">Approximately 9.7 metres below ground surface.

5.4 Site Operating Records

No site-specific records were provided for review.



6.0 INTERVIEWS

Name	York Gruehl
Employer	Hannover Trafalgar Farms Corp.
Position or Title	ASO
Duration of Employment	
Date	January 14, 2020
Location of Interview	Milton
Method of Interview	E-mail
Reason for Selection	Overall knowledge of the site.
Current and Past Site Activities	<p><i>Are you aware of any individuals who may have additional knowledge of current activities at the property? If so, please provide the names of those individuals, a description of their relationship to the property, and their contact information (if known).</i></p> <p>“No”</p> <p><i>What are the current site activities? Please describe briefly, to the best of your knowledge, below.</i></p> <p>“Cash Crop Farming/Residence.”</p> <p><i>How long has the site been used for its current purpose? How long have you been associated with this Property?</i></p> <p>“25 years.”</p> <p><i>To your knowledge, has the site ever been used for:</i></p> <ul style="list-style-type: none">• <i>Industrial operations (list any if known)</i> “No”• <i>On-site dry cleaning</i> “No”• <i>Fuel distribution or storage</i> “No”• <i>Vehicle servicing and/or maintenance</i> “No” <p><i>Other than the activities listed above, what was the site previously used for? Please list all known uses, and approximate dates if known.</i></p>
Items of Potential Environmental	<u>General</u>



Concern	<p><i>Do site operations involve the storage and/or use of environmentally sensitive or hazardous products, such as paints, chemicals, fuels, oils and lubricants?</i></p> <p>“No”</p> <p><i>Are herbicides, pesticides, or other agricultural chemicals being used on the property?</i></p> <p>“No”</p> <p><i>Are there any underground structures, such as in-ground hoists, pits, storage tanks, or oil/water separators located on the property?</i></p> <p>“No”</p> <p><i>Are you aware of any wells located on the property?</i></p> <p>“Yes. South side of existing house, Bored well”</p>
	<p><u>Tanks</u></p> <p><i>Are you aware of any existing or previous underground (buried) or aboveground tanks on the property?</i></p> <p>“No”</p> <p><i>Are you aware of any leaks or spills associated with any existing or previous tanks on the property?</i></p> <p>“No”</p> <p><i>Is there any documentation on file regarding removal of underground or aboveground tanks and/or related soil and ground water remediation at the property?</i></p> <p>“No”</p>



	<p><i>Have there been any previous PCB surveys or removal of PCB-containing materials?</i></p> <p>“No”</p>
Waste Generation and Emissions	<p><i>Is the site registered as a waste generator with the Ministry of the Environment (registered on HWIN)?</i></p> <p>“No”</p> <p><i>Is any waste water produced at the site? “There is a residential septic system servicing the house”</i></p> <ul style="list-style-type: none">• <i>If yes, please answer the following:</i>• <i>Is analytical testing of waste water carried out? “No”</i>• <i>Are you aware of any sewer-use by-law infractions? “No”</i>• <i>Is there a surcharge agreement for discharge to the sewers? “No”</i> <p><i>Does the facility produce air emissions? “No”</i></p> <p><i>If yes, please answer the following:</i></p> <ul style="list-style-type: none">• <i>Does the facility have a Certificate of Approval (C of A) for air emissions?</i>• <i>Are air emissions from the site monitored?</i>• <i>Have any ventilation systems been installed to handle air emissions?</i>• <i>Have there been any reported air emission infractions?</i>
Environmental Reports, Remediation and Public Agencies	<p><i>Have any previous environmental assessments or studies been completed for the property with respect to soil, ground water, air quality, site facilities or processes?</i></p> <p>“No”</p> <p><i>Has any soil or ground water remediation been completed at the property?</i></p> <p>“No”</p> <p><i>Has any public agency (e.g., the Ministry of the Environment, local municipality, etc.) ever investigated or cited the property for violation or possible violation of any environmental law, or commenced enforcement or cleanup action under environmental law with respect to the property?</i></p> <p>“No”</p> <p><i>Has any public agency ever listed the property as a site requiring or qualifying for cleanup under environmental law?</i></p> <p>“No”</p>
Miscellaneous	<p><i>Do you have any other information, comments or concerns related to the environmental quality of the property?</i></p> <p>“No”</p>



7.0 SITE RECONNAISSANCE

7.1 General Requirements

Date of Investigation	January 17 & 27, 2020
Time of Investigation	January 17, 2020 – 11:00 am January 27, 2020 – 3:00 pm
Weather Conditions	January 17, 2020 – -7°C, sunny January 27, 2020 – 0°C, overcast
Duration of Investigation	1 hour
Was the Facility Operating?	NA
Person Conducting Investigation and Qualifications	Katie Greenman, B.Sc.

7.2 Specific Observations at Phase I Property

The site reconnaissance included a walking tour of the Property, as well as compiling written and photographic records. Site features are presented on Figure 2, and site photographs are presented in Appendix H.

7.2.1 Building and Structure Descriptions

One, two-storey residential building and an outbuilding were located on the Property. The general building features are summarized below.

Address: 6583 Trafalgar Road		
Building Component	Description	
	Residential Building	Outbuilding
Building Configuration	Square shaped	Square Shaped
Footprint	The structure covers a ground floor area of approximately 200 m ²	The structure covers an area of approximately 90 m ²
Height	Two-storey, plus basement	One-storey, slab on grade
Roof	Asphalt shingles	Metal



Address: 6583 Trafalgar Road		
Building Component	Description	
	Residential Building	Outbuilding
Construction Date	Prior to 1946	unknown
Exterior Finish	Brick, aluminium siding	Wood siding
Interior Walls	Wood frame structure, drywall, brick, stone	Wood frame structure
Interior Floors	Poured concrete, carpet, hardwood, ceramic tile.	Poured concrete
Interior Ceilings	Finished drywall	Wood joist
Interior Lighting	Incandescent, fluorescent	Fluorescent
Building Entry and Exit Points	Front and rear of the residence	Front of the outbuilding
Heating Systems	A propane-fired furnace was located in the basement of the residence. In addition, a wood burning stove was also located in the basement of the residence.	None observed at the time of the site inspection.
Cooling Systems	None observed at the time of the site inspection.	None observed at the time of the site inspection.
Drains, Pits and Sumps	One sump pit was noted in the basement of the residence.	None observed at the time of the site inspection.
Unidentified Substances	None observed at the time of the site inspection.	None observed at the time of the site inspection.
Staining and Corrosion	None observed at the time of the site inspection.	None observed at the time of the site inspection.

7.2.2 Designated Substances and Other Special Attention Items

The inspection was carried out in accessible areas and included an assessment of the potential presence of the following materials:

- Designated substances (i.e., acrylonitrile, asbestos, arsenic, benzene, coke oven emissions, ethylene oxide, isocyanates, lead, mercury, silica, vinyl chloride);
- Polychlorinated biphenyls (PCBs);

- Ozone depleting substances;
- Urea-formaldehyde foam insulation (UFFI);
- Special attention items (i.e., mould, radioactive materials, herbicides & pesticides).

The presence of these materials is summarized below.

Asbestos	No exposed suspected asbestos containing insulating materials or friable asbestos were observed during the site inspection. Asbestos was banned for use in construction materials in the late 1980s. Based on the age of the buildings the potential exists for asbestos containing material to be present.
Lead	No materials containing obvious lead sources were observed during the site inspection. Based on the age of the building the potential for lead based materials to be present does exist.
Mercury	No materials containing mercury were observed during the site inspection.
Other Designated Substances	There was no evidence indicating the presence of the other designated substances identified above.
PCBs	No materials containing PCBs were observed during the site inspection.
Ozone Depleting Substances	No Ozone Depleting Substances were observed during the site inspection.
UFFI	No UFFI products were observed during the site inspection.
Mould	Some areas of mould and dampness were observed in the basement of the residence, specifically near the sump pit and water treatment system.
Radioactive Materials	No man-made sources of radiation were observed during the site inspection.
Herbicides and Pesticides	An empty plastic tank with a label indicating the contents as pesticides was situated on a small trailer on the concrete slab in the area of the former structure. The tank was empty and no indication of product loss was noted on the ground around the base of the tank. No other materials containing herbicides or pesticides were observed to be stored or used on the site.

7.2.3 Below Ground Structures

No below ground structures were observed on the Property at the time of the site investigation.

7.2.4 Above Ground Storage Tanks

No aboveground storage tanks (or evidence of above ground storage tanks) were observed on the Property at the time of the site investigation.



7.2.5 Underground Storage Tanks

No underground storage tanks (or evidence of underground storage tanks) were observed on the Property at the time of the site inspection.

7.2.6 Exterior Site Conditions

At the time of the assessment, the southwest portion of the Property was developed with a two-storey residence and associated outbuilding. A concrete slab was located at the rear of the residence, in the area of a former structure. The remainder of the Property was in agricultural use. Access to the Property is via a driveway off the east side of Trafalgar Road.

Additional details are provided below.

Water Sources	The Property is supplied by a private well.
Underground Utilities and Services	The inspection of the Property indicated the following information related to utility services: <ul style="list-style-type: none">Public utilities and services on the Property were limited to hydro and communications. These were both observed to be overhead and entered the residence at the southeast corner.
Current and Former Wells	One private well was located northeast of the residence. A monitoring well was located on the southwest portion of the Property near Trafalgar Road, north of the driveway.
Sewage Works	The residence is connected to a septic tank and tile bed.
Railways	No railways were observed on the Property.
Stained and Odorous Soils	No stained or odorous soils were observed on the Property at the time of the site inspection.
Stressed Vegetation	No stressed vegetation was observed on the Property at the time of the site inspection.
Fill Materials	No obvious fill materials were observed on the Property.
Watercourses, Ditches or Standing Water	No watercourses, ditches, or areas of standing water were observed on the property during the site inspection.
Air Emissions	No air emission sources were observed on the Property.
Roads, Parking Facilities, and Right-of-Ways	Access to the Property is via a gravel driveway off the east side of Trafalgar Road.
Waste Handling	Waste was primarily domestic in nature. Two twenty yard waste bins, supplied and removed by a private waste handling contractor, were present on the Property. The tenants of the Property indicated they were in the process of vacating the residence and the bins were for disposal purposes. Four plastic drums were also noted on the Property on the concrete slab located at the rear of the residence, the drums were empty at the time of the site inspection.



7.3 Enhanced Investigation Property

According to Section 32 (1) (b) of O. Reg. 153/04, the current and historical activities at the Property do not qualify the Property as an Enhanced Investigation Property.

7.4 Investigation of Phase I Study Area

The land uses noted on the properties immediately adjacent to the Property at the time of the site inspection are summarized below.

Direction	Land Uses
North	Agricultural
East	Agricultural
South	Residential, Agricultural
West	Trafalgar Road; Residential, Agricultural

7.5 Written Description of Investigation

The site reconnaissance included a walking tour of the exterior of the Property on January 17, 2020 and an inspection of all buildings on January 27, 2020 by Katie Greenman, B.Sc. Written and photographic records regarding the condition of the Property were compiled.

7.6 Potentially Contaminating Activities

No PCAs were identified during the site inspection.



8.0 REVIEW AND EVALUATION OF INFORMATION

8.1 Potentially Contaminating Activities

The Phase One Environmental Site Assessment identifies the following PCAs on the Property and within the Study Area. The locations of the PCAs are illustrated on Figure 5.

Location of PCA	PCA	Potential APEC (Yes/No)	Justification
6583 Trafalgar Road Subject Property	#40 – Pesticides (including herbicides fungicides, and anti-fouling agents) manufacturing, processing, bulk storage and large scale application	Yes (APEC 1)	The Property is currently and has historically been in agricultural use. The potential exists that herbicides and/or pesticides have been applied to the property.
	#30 – Importation of fill material of unknown quality	Yes (APEC 2)	Backfilling of a large pond, formerly located east of the residence, occurred in 2010. The quality of the backfill material could not be confirmed.
Between 6583 and 6541 Trafalgar Road 11 m southwest	NA ¹ – Spill	No	Based on the limited quantity of the spill and separation from the Property by a drainage ditch, soil and/or ground water impacts, if present, would be unlikely to cause adverse impact on the Phase I Property. The QP does not believe this PCA will cause an APEC on the Property.

8.2 Areas of Potential Environmental Concern

The PCAs identified in Section 8.1 were evaluated for their potential to create an Area of Potential Environmental Concern on the Phase I Property through consideration of:

- The type of PCA
- The potential magnitude of the PCA (e.g., small-scale waste generation versus significant commercial activity)
- The Contaminants of Potential Concern (CoPC) associated with the PCA
- The nature of those CoPCs in terms of their mobility in soil, ground water, and sediment, as applicable
- The anticipated direction of ground water flow



- The anticipated hydraulic conductivity of saturated media
- The distance between the PCA and the Property

The analysis and rationale used to determine that a particular PCA does not create an APEC are provided in Section 8.1. The APECs identified, if any, are presented on Figure 6.

The physical area of each APEC, if any, is illustrated on Figure 6. Please note that the area illustrated does not necessarily represent the complete potential area of impact, but represents the most likely potential area of impact, and thus represents the area that would first require intrusive investigation in a Phase II ESA should a Phase II ESA be conducted.



9.0 CONCLUSIONS

Terraprobe Inc. was retained by Hannover Trafalgar Farms Limited to complete a CSA Standard Z768-01 Phase I Environmental Site Assessment for the Property located at 6583 Trafalgar Road in Milton, Ontario.

The Property is irregular in shape, with a total area of approximately 30 hectares (75 acres). The Property has a frontage of approximately 350 metres along the east side of Trafalgar Road and extends to the northeast approximately 660 m.

In accordance with Ontario Regulation 153/04 (O.Reg. 153/04), the Property is considered to be in mixed residential and agricultural or other property use as defined by the Ministry of the Environment, Conservation and Parks (MECP). The Phase I ESA is required for due diligence purposes. A Record of Site Condition is not a mandatory requirement with the MECP, as the Property is not undergoing a change in Property use to a more sensitive use. If, in the future, a record of site condition becomes a requirement, the Phase I ESA will require updates to satisfy the requirements of O.Reg. 153/04.

The objective of the investigation was to review historical information and document existing conditions to identify obvious or potential environmental liabilities. The work included a review of the historical development/use of the Property and a visual inspection of the Property.

At the time of the assessment, the southwest portion of the Property was developed with a two-storey residence and associated outbuilding. The remainder of the Property was in agricultural use. The Property was developed for its current use prior to 1946. Historically, the Property and adjacent properties were undeveloped or in agricultural and residential Property use.

Based on the records reviewed and the site inspection, Potentially Contaminating Activities (PCAs) were identified on the Phase I Property and within the Study Area that may impact the environmental condition of the Property and lead to Areas of Potential Environmental Concern (APEC).

Area of Potential Environmental Concern	Location of Area of Potential Environmental Concern on Phase I Property	Potentially Contaminating Activity	Location of PCA (On-Site or Off-Site)	Contaminants of Potential Concern	Media Potentially Impacted (Soil, Ground Water and/or Sediment)
APEC 1: (On-Site) Agricultural Use	Entire Property	#40 – Pesticides (including herbicides fungicides, and anti-fouling agents) manufacturing, processing, bulk storage and large scale application	On-Site	Metals, Hydride Metals, ORPs, OCs.	Soil and possibly Ground Water (less likely, sample only if soil impacts exist).
APEC 2: (On-Site) Presence of fill material of unknown quality	Area of former pond (east of residence)	#30 – Importation of fill material of unknown quality	On-Site	Metals, Hydride Metals, ORPs, PHCs (F1-F4), VOCs, PAHs, OCs	Soil, Ground Water



The Phase I ESA identified two (2) Areas of Potential Environmental Concern (APECs) caused by one (2) on-site PCAs. The APECs are illustrated in two (2) physical area on the Property as seen on Figure 6.

On the basis of the above, in order to eliminate the Areas of Potential Environmental Concern that have been identified on the Property, an environmental soil and ground water investigation would need to be completed.

If a RSC is required in the future, a Phase I ESA Update and Phase Two Environmental Site Assessment meeting the O.Reg. 153/04 standard would be required to investigate the Areas of Potential Environmental Concern that have been identified on the Property.

9.1 Signatures

The Phase I Environmental Site Assessment has been completed under the direction and supervision of R. Baker Wohayeb M.A.Sc. P.Eng. QPRA and was reviewed by Stephen Hodgson, P.Geo., QPESA. The findings and conclusions presented in this report have been determined on the basis of the information that was obtained and reviewed, and on an assessment of the existing conditions on the Phase I Property and properties within the Phase I Study Area.

The Phase I ESA was conducted to satisfy the intent of the requirements, methodology and practices for Phase I ESAs as described in CSA Standard Z768-01, as amended (CSA 768-01).

Terraprobe Inc.



Katie Greenman, BSc.
Environmental Scientist



Amber Brooks, BSc.
Project Manager



Stephen Hodgson, P.Geo., QPESA
Senior Hydrogeologist



10.0 REFERENCES

1. Freenstra, B.H.; Quaternary Geology of the Grimsby Area, Southern Ontario; Ontario Division of Mines, Preliminary Map P993, 1974
2. Chapman, L.J. and Putnam, D.F. 2007. *The Physiography of Southern Ontario*. Ontario Geological Survey, Miscellaneous Release--Data 228.
3. MNRFF Natural Heritage Mapping website:
http://www.gisapplication.lrc.gov.on.ca/mamnh/Index.html?site=MNR_NHLUPS_NaturalHeritage&viewer=NaturalHeritage&locale=en-US
4. The Ontario Geological Survey. 2003. *Surficial Geology of Southern Ontario*.



11.0 LIMITATIONS AND USE OF THE REPORT

This report was prepared for the exclusive use of Hannover Trafalgar Farms Limited and their legal counsel, and is intended to provide an assessment of the environmental conditions on the Property located at 6583 Trafalgar Road in Milton, Ontario.

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of such third parties. Terraprobe Inc. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report, including consequential financial effects on transactions or Property values, or requirements for follow-up actions and costs.

The assessment should not be considered a comprehensive audit that eliminates all risks of encountering environmental problems. The information presented in this report is based on information collected during the completion of the Phase I Environmental Site Assessment by Terraprobe Inc. It is based on the conditions on the Phase I Property at the time of the site inspection supplemented by a review of historical information to assess the environmental conditions regarding the Phase I Property, as reported herein.

Sampling and analysis of soil, ground water or any other material was not carried out as part of this assessment. Consequently, the presence and/or extent of any adverse environmental impact cannot be verified. The potential for environmental liability and/or environmental impact is an opinion that has been arrived at within the scope of this assessment.

In assessing the environmental conditions/history of the Phase I Property, Terraprobe Inc. has relied in good faith on information provided by others, as noted in this report, and has assumed that the information provided by those individuals is factual and accurate. Terraprobe Inc. accepts no responsibility for any deficiency, misstatement or inaccuracy in this report resulting from the information provided by those individuals.

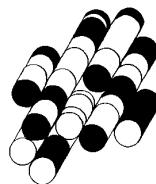
There is no warranty expressed or implied by this report regarding the environmental status of the Phase I Property. Professional judgement was exercised in gathering and analysing information collected by our staff, as well as that submitted by others. The conclusions presented are the product of professional care and competence, and cannot be construed as an absolute guarantee.

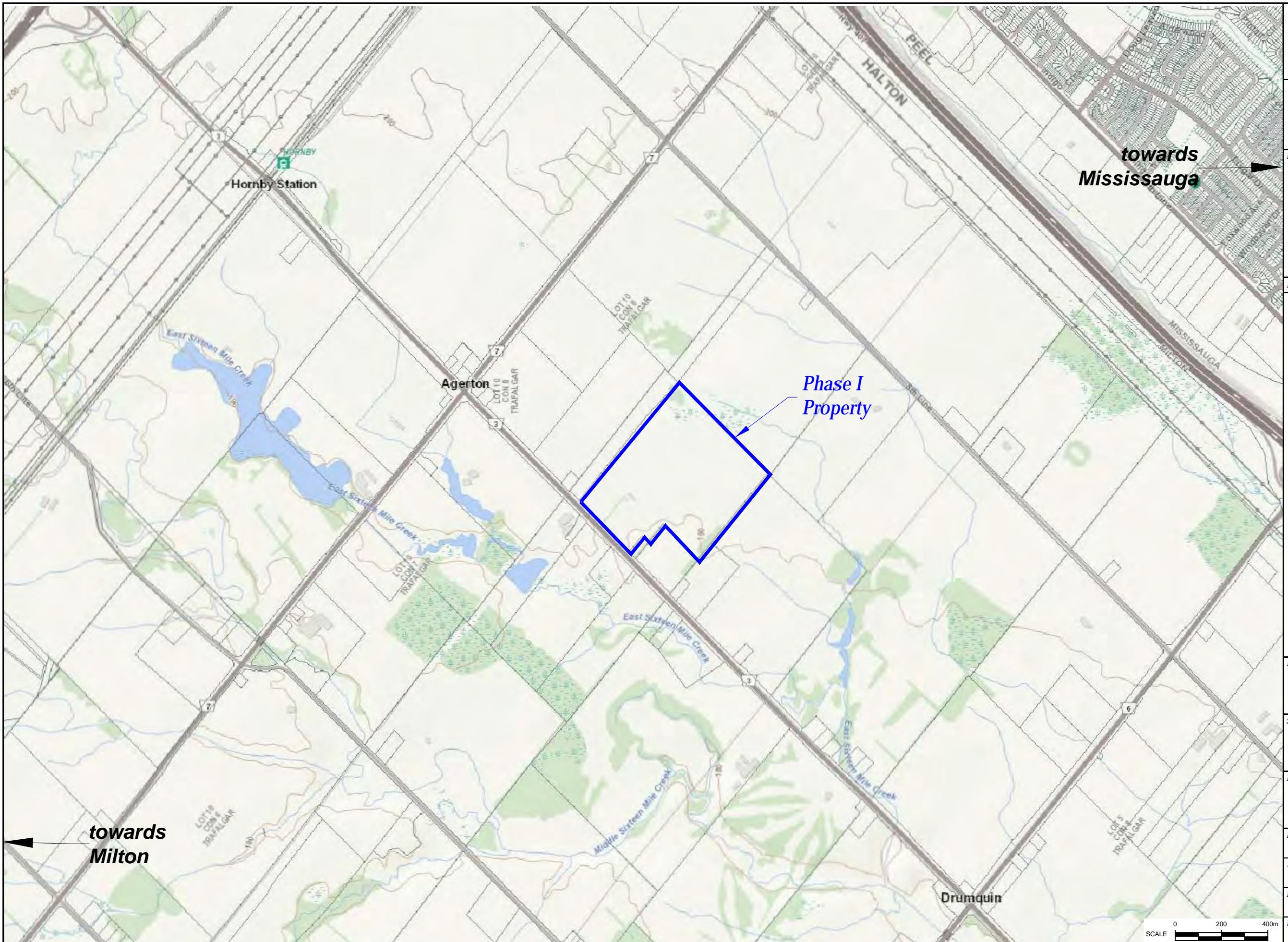
In the event that during future work new information regarding the environmental condition of the Phase I Property is encountered, or in the event that the outstanding responses from the regulatory agencies indicate outstanding issues on file with respect to the Phase I Property, Terraprobe Inc. should be notified in order that we may re-evaluate the findings of this assessment and provide amendments, as required.



FIGURES

TERRAPROBE INC.



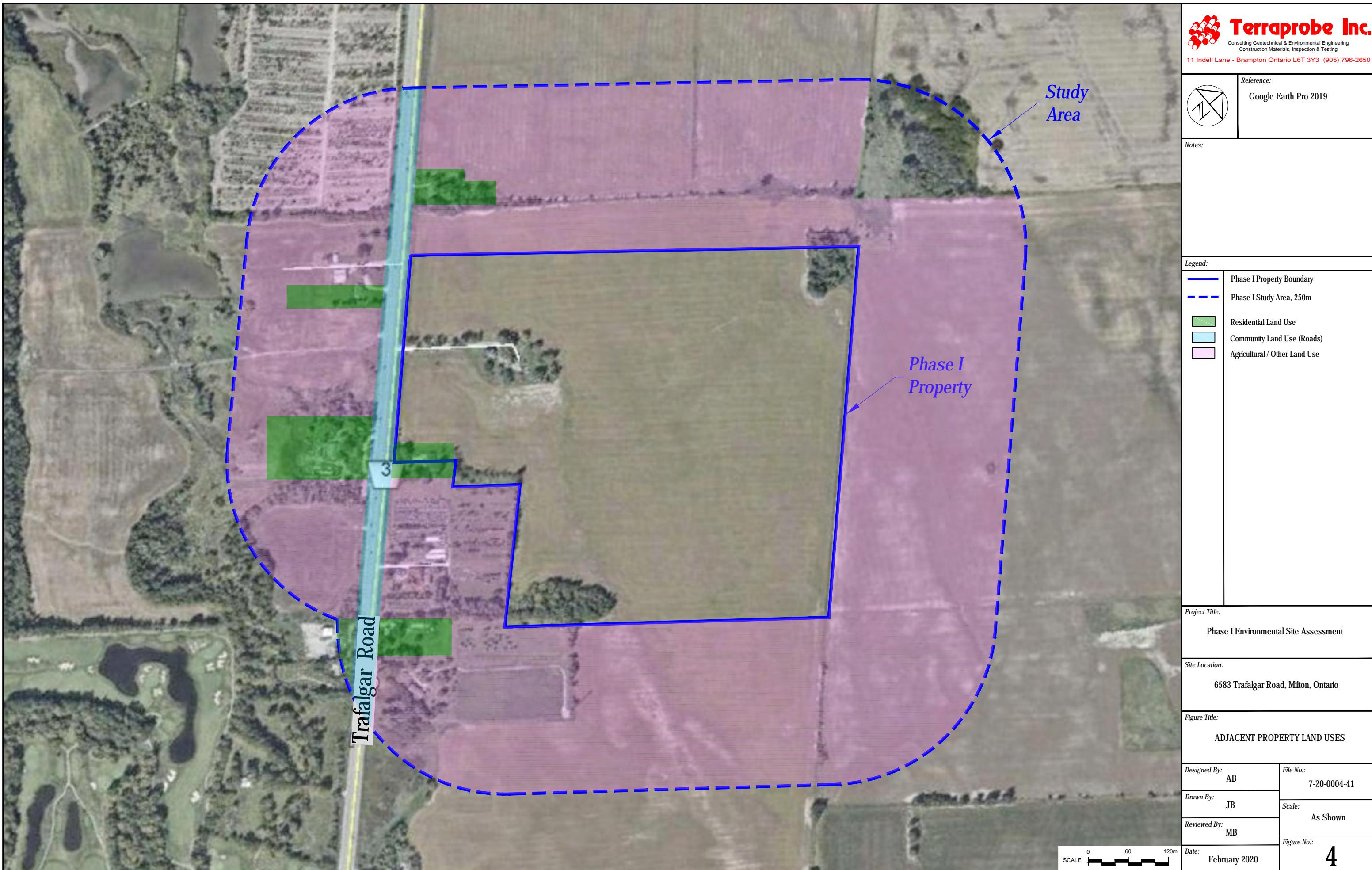


 Terraprobe Inc. Consulting Geotechnical & Environmental Engineering Construction Materials, Inspection & Testing 11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650	
	Reference: Ministry of Natural Resource and Forestry
Notes:	
Legend:	
	Phase I Property Boundary
Project Title: Phase I Environmental Site Assessment	
Site Location: 6583 Trafalgar Road, Milton, Ontario	
Figure Title: PHASE I PROPERTY LOCATION	
Designed By: AB	File No.: 7-20-0004-41
Drawn By: JB	Scale: As Shown
Reviewed By: MB	Figure No.: 1
Date: February 2020	



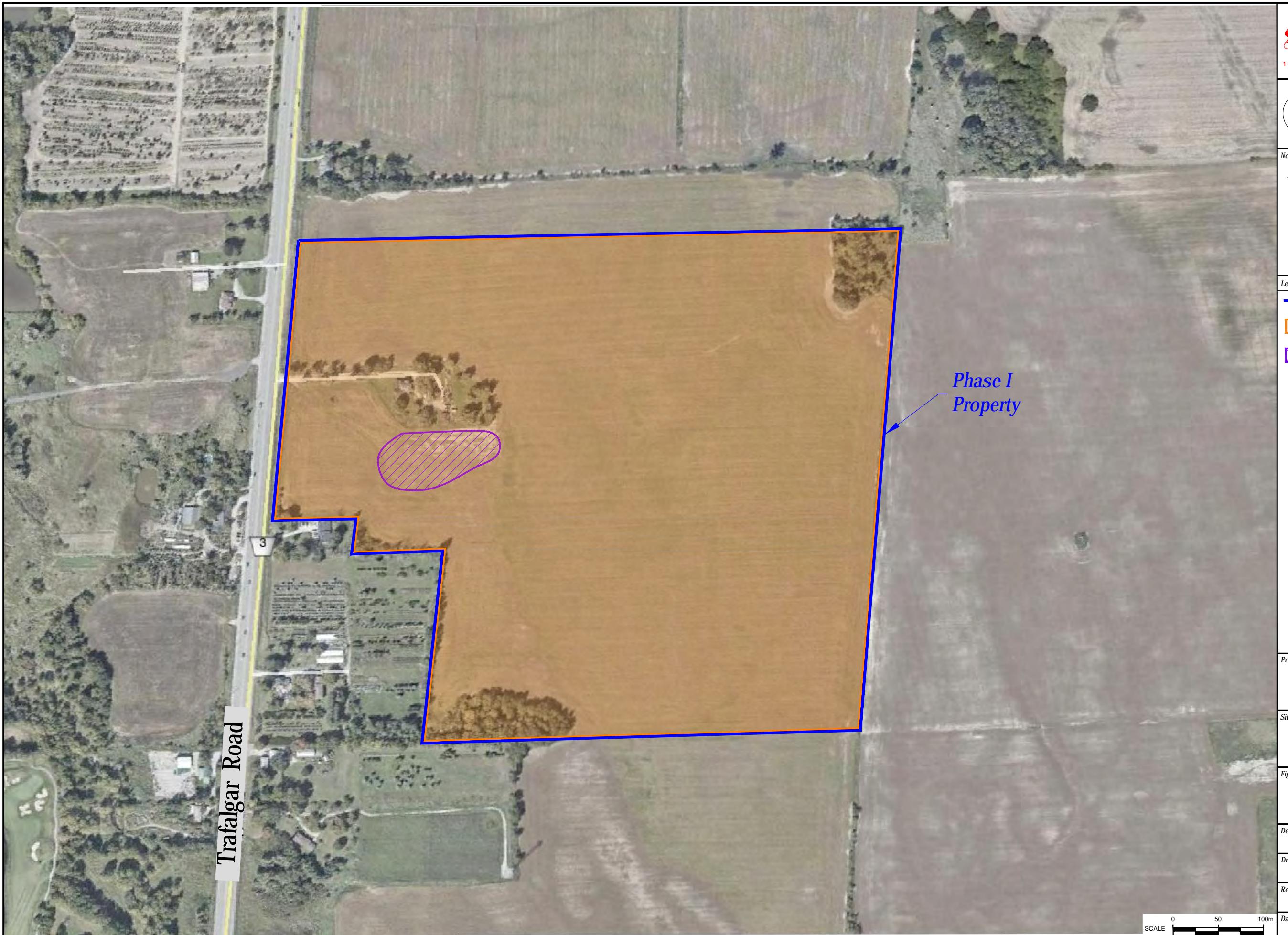
 Terraprobe Inc. Consulting Geotechnical & Environmental Engineering Construction Materials, Inspection & Testing 11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650	
 Reference: Google Earth Pro 2019	Notes:
Legend:	
 Phase I Property Boundary	
Project Title:	Phase I Environmental Site Assessment
Site Location:	6583 Trafalgar Road, Milton, Ontario
Figure Title:	PHASE I PROPERTY
Designed By:	AB
Drawn By:	JB
Reviewed By:	MB
File No.:	7-20-0004-41
Scale:	As Shown
Figure No.:	2
DATE:	February 2020







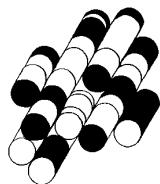
 Terraprobe Inc. Consulting Geotechnical & Environmental Engineering Construction Materials, Inspection & Testing 11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650	
	Reference: Google Earth Pro 2019
Notes: PCA - Potentially Contaminating Activity RED - PCA causing APEC on Property GREEN - PCA unlikely to affect Property	
Legend:	
	Phase I Property Boundary
	Potentially Contaminating Activity
#30	Importation of Fill Material of Unknown Quality
#40	Pesticides (including Herbicides, Fungicides and Anti-Fouling Agents) Manufacturing, Processing, Bulk Storage and Large-Scale Applications
Na'	Spill
Project Title: Phase I Environmental Site Assessment	
Site Location: 6583 Trafalgar Road, Milton, Ontario	
Figure Title: POTENTIALLY CONTAMINATING ACTIVITIES	
Designed By: AB	File No.: 7-20-0004-41
Drawn By: JB	Scale: As Shown
Reviewed By: MB	Figure No.: 5
DATE: February 2020	

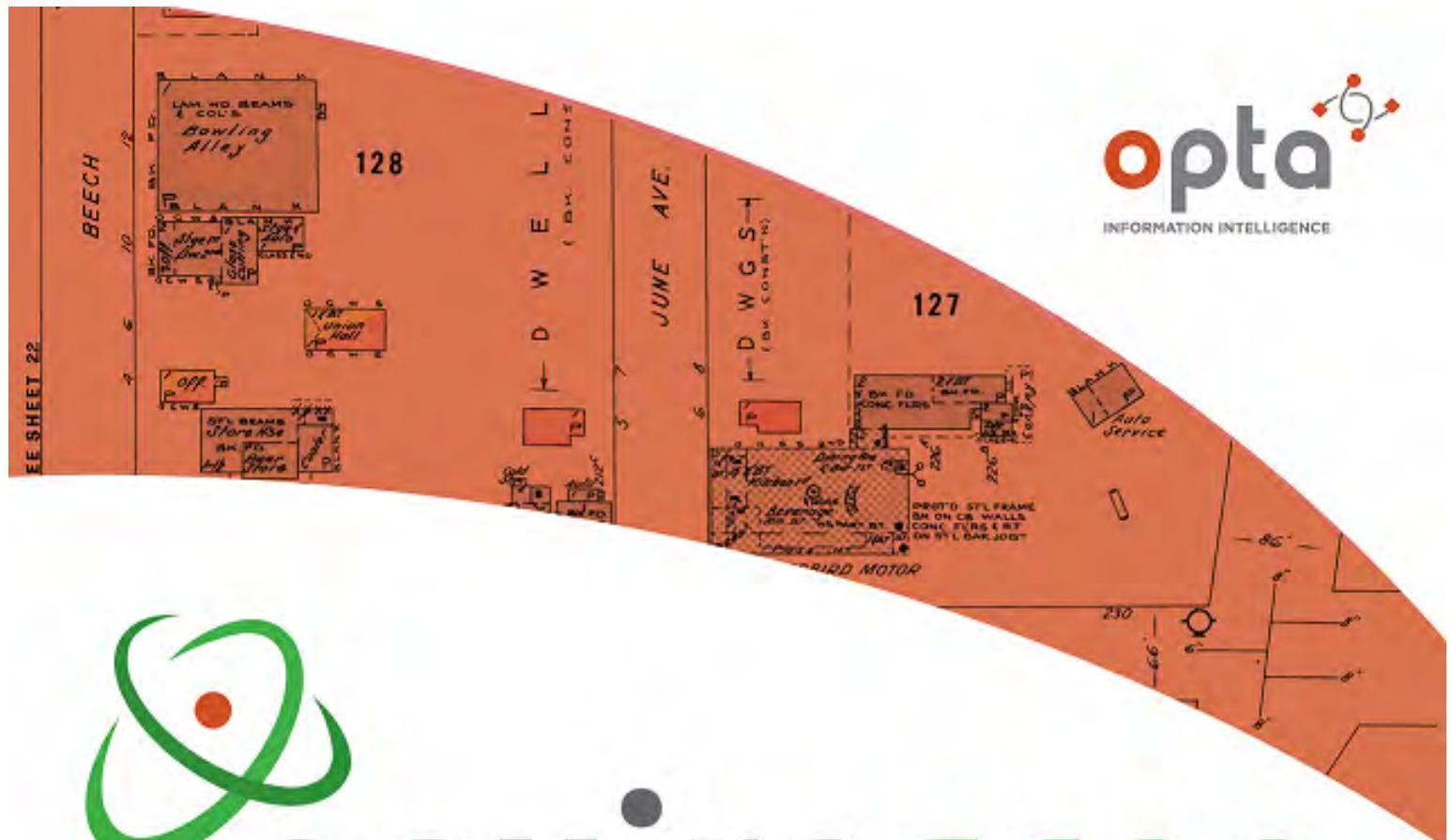


 Terraprobe Inc. Consulting Geotechnical & Environmental Engineering Construction Materials, Inspection & Testing 11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650	
	Reference: Google Earth Pro 2019
Notes: APEC - Areas of Potential Environmental Concern	
Legend: <ul style="list-style-type: none"> — Phase I Property Boundary APEC 1 APEC 2 	
Project Title: Phase I Environmental Site Assessment	
Site Location: 6583 Trafalgar Road, Milton, Ontario	
Figure Title: APEC LOCATIONS	
Designed By: AB	File No.: 7-20-0004-41
Drawn By: JB	Scale: As Shown
Reviewed By: MB	Figure No.: 6
Date: February 2020	

APPENDIX A

TERRAPROBE INC.





enviroscan



An SCM Company

175 Commerce Valley Drive W
Markham, Ontario L3T 7Z3

T: 905-882-6300
W: www.optaintel.ca

Report Completed By:

Sunita

Site Address:

6583 Trafalgar Road Georgetown Milton ON Canada

Project No:

720000441

Opta Order ID:

69882

Requested by:

Amber Brooks
Terraprobe Inc.

Date Completed:

1/14/2020 1:33:24 PM

Page: 2

Project Name: 6583 Trafalgar
Road Milton

Project #: 720000441

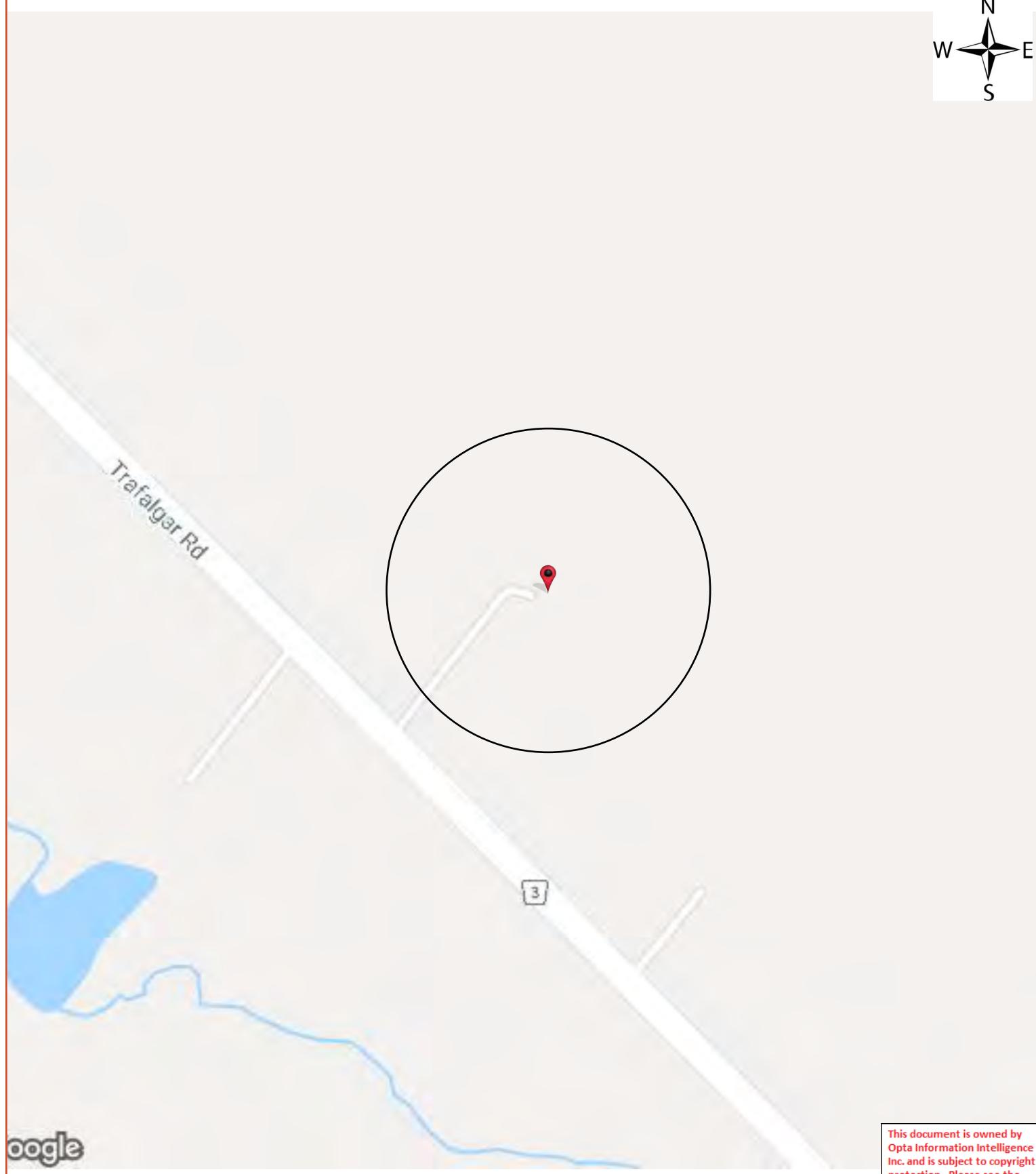
ENVIROSCAN Report

**Search Area: 6583 Trafalgar Road Georgetown
Milton ON Canada**

Requested by:

Amber Brooks

Date Completed: 01/14/2020 13:33:24



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Terms and Conditions

Report

The documents (hereinafter referred to as the "Documents") to be released as part of the report (hereinafter referred to as the "Report") to be delivered to the purchaser as set out above are documents in Opta's records relating to the described property (hereinafter referred to as the "Property"). Opta makes no representations or warranties respecting the Documents whatsoever, including, without limitation, with respect to the completeness, accuracy or usefulness of the Documents, and does not represent or warrant that these are the only plans and reports prepared in association with the Property or in Opta's possession at the time of Report delivery to the purchaser. The Documents are current as of the date(s) indicated on them. Interpretation of the Documents, if any, is by inference based upon the information which is apparent and obvious on the face of the Documents only. Opta does not represent, warrant or guarantee that interpretations other than those referred to do not exist from other sources. The Report will be prepared for use by the purchaser of the services as shown above hereof only.

Disclaimer

Opta disclaims responsibility for any losses or damages of any kind whatsoever, whether consequential or other, however caused, incurred or suffered, arising directly or indirectly as a result of the services (which services include, but are not limited to, the preparation of the Report provided hereunder), including but not limited to, any losses or damages arising directly or indirectly from any breach of contract, fundamental or otherwise, from reliance on Opta Reports or from any tortious acts or omissions of Opta's agents, employees or representatives.

Entire Agreement

The parties hereto acknowledge and agree to be bound by the terms and conditions hereof. The request form constitutes the entire agreement between the parties pertaining to the subject matter hereof and supersedes all prior and contemporaneous agreements, negotiations and discussions, whether oral or written, and there are no representations or warranties, or other agreements between the parties in connection with the subject matter hereof except as specifically set forth herein. No supplement, modification, waiver, or termination of the request shall be binding, unless confirmed in writing by the parties hereto.

Governing Document

In the event of any conflicts or inconsistencies between the provisions hereof and the Reports, the rights and obligations of the parties shall be deemed to be governed by the request form, which shall be the paramount document.

Law

This agreement shall be governed by and construed in accordance with the laws of the Province of Ontario and the laws of Canada applicable therein.

Page: 4
Project Name: 6583 Trafalgar
Road Milton

Project #: 720000441

ENVIROSCAN Report

No Records Found

Requested by:
Amber Brooks
Date Completed: 01/14/2020 13:33:24

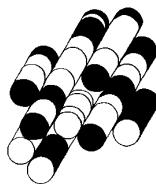


No Records Found



APPENDIX B

TERRAPROBE INC.



CHAIN OF TITLE REPORT

Project # 7-20-0004-41
Address: 6583 Trafalgar Road, Milton
Legal Part Lot 9 Con 8 TRAF NS
Description: Part 1 20R19009

PIN# 24938-0144(LT)

Searched at: Milton
LRO #: 20

Page 1

INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
	Patent (200 Acres)	03 01 1828	Crown	Kings College
531	Deed	09 02 1854	Kings College	John BESSELL
961	Deed	25 06 1858	John Bessell	Jeramiah BESSELL
122	Deed	22 01 1859	Jeramiah Bessell	John MASON, Sr.
574	Deed	17 01 1871	John Mason, Sr.	John MASON, Jr.
607	Deed	06 04 1871	John Mason, Jr.	William James MASON
8449	Deed	21 11 1904	William James Mason - Estate	William Emerson MASON
13477	Deed	05 08 1920	William Emerson Mason	John Russell SMITH
21050	Deed	12 09 1945	John Russell Smith	William Henry SHAW & Virginia Kennetta SHAW

Cont'd on Page 2

CHAIN OF TITLE REPORT

Project # 7-20-0004-41
Address: 6583 Trafalgar Road, Milton
Legal Part Lot 9 Con 8 TRAF NS
Description: Part 1 20R19009

PIN# 24938-0144(LT)

Searched at: Milton
LRO #: 20

Page 2

INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
60366	Deed	07 01 1957	Virginia Kennetta Shaw	William Henry SHAW
63325	Deed	23 04 1957	William Henry Shaw	Donald Chester SHAW
110607	Deed	29 04 1960	Donald Chester Shaw	William Douglas SHAW
289515	Deed	02 03 1970	William Douglas Shaw	Victor SOLNICKI, Trustee
372340	Deed	07 09 1973	Victor Solnicki, Trustee	Friedrich Wilhelm GRUEHL
718824	Deed	15 05 1989	Friedrich Wilhelm Gruehl	Baseline-Martin Holdings Liimited
718825	Mortgage	15 05 1989	Baseline-Martin Holdings Liimited	Friedrich Wilhelm GRUEHL (Mortgagee)
829756	Deed (Power of Sale)	12 10 1994	Friedrich Wilhelm Gruehl (Baseline-Martin Holdings Liimited defaulted in Mtg 718825)	Ursula GRUEHL
HR1003483	Deed (Present Owner)	22 03 2012	Ursula Gruehl	Hannover Trafalgar Farms Limited
HR1006610	Option to Purchase	03 04 2012	Hannover Trafalgar Farms Limited	Milton Sheva Land Limited



PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #20

24938-0144 (LT)

PAGE 1 OF 1
PREPARED FOR bertuccil
ON 2020/01/24 AT 15:06:51

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

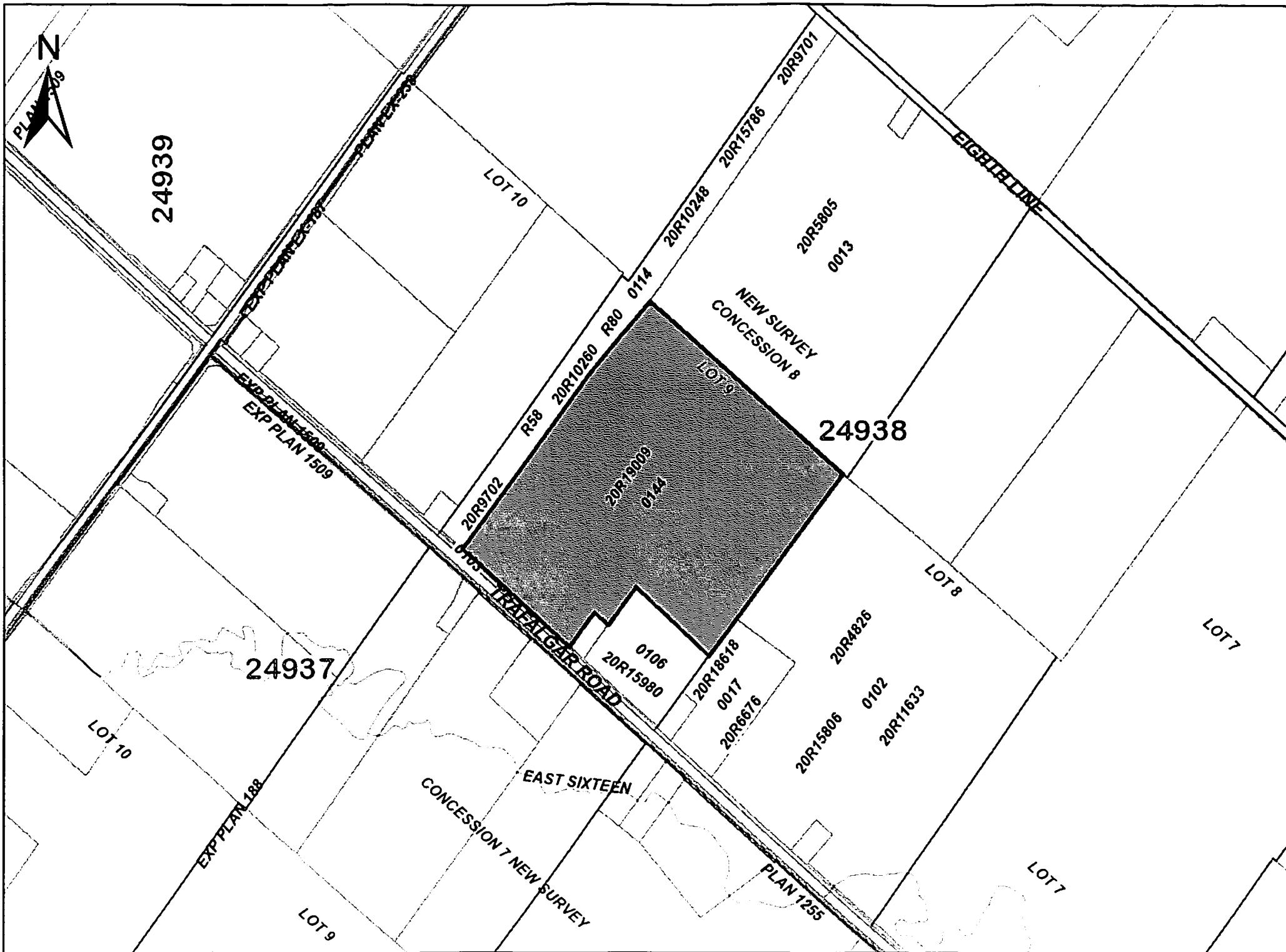
PROPERTY DESCRIPTION: PT LT 9, CON 8 TRAF NS, PT 1, 20R19009.; TOWN OF MILTONPROPERTY REMARKS: FOR THE PURPOSE OF THE QUALIFIER THE DATE OF REGISTRATION OF ABSOLUTE TITLE IS 2011 08 16.ESTATE/QUALIFIER:
RECENTLY:
FEE SIMPLE
LT ABSOLUTE PLUS

RE-ENTRY FROM 24938-0104

PIN CREATION DATE:
2011/08/16OWNERS' NAMES
HANNOVER TRAFALGAR FARMS LIMITEDCAPACITY SHARE
ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM		PARTIES TO	CERT/CHKD
** PRINTOUT	INCLUDES ALL DOCUMENT TYPES AND	DELETED INSTRUMENTS	SINCE 2011/08/16 **				
**SUBJECT TO SUBSECTION	44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPHS 3 AND 14 AND *						
**	PROVINCIAL SUCCESSION DUTIES AND	EXCEPT PARAGRAPH 11 AND ESCHEATS OR FORFEITURE **					
**	TO THE CROWN	UP TO THE DATE OF REGISTRATION WITH AN ABSOLUTE TITLE. **					
829756	1994/10/12	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***		GRUEHL, URSULA	
HR522384	2006/10/30	CHARGE	\$1,500,000	GRUEHL, URSULA		THE TORONTO-DOMINION BANK	C
20R19009	2011/08/16	PLAN REFERENCE					C
HR952901	2011/08/16	APL ABSOLUTE TITLE		GRUEHL, URSULA			C
HR1003483	2012/03/22	TRANSFER		GRUEHL, URSULA		HANNOVER TRAFALGAR FARMS LIMITED	C
HR1006609	2012/04/03	CHARGE	\$6,600,000	HANNOVER TRAFALGAR FARMS LIMITED		MILTON SHEVA LAND LIMITED	C
HR1006610	2012/04/03	NO OPTION PURCHASE	\$100	HANNOVER TRAFALGAR FARMS LIMITED		MILTON SHEVA LAND LIMITED	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



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FOR BERTUCCI1

SCALE

PROPERTY INDEX MAP
HALTON(No. 20)

LEGEND

FREEHOLD PROPERTY
LEASEHOLD PROPERTY
LIMITED INTEREST PROPERTY
CONDOMINIUM PROPERTY
RETIRED PIN (MAP UPDATE PENDING)
PROPERTY NUMBER 0449
BLOCK NUMBER 08050
GEOGRAPHIC FABRIC
EASEMENT

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

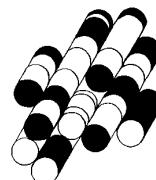
ONLY MAJOR EASEMENTS ARE SHOWN

**REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED**



APPENDIX C

TERRAPROBE INC.





DATABASE REPORT

Project Property: 6583 Trafalgar Road, Milton
6583 Trafalgar Road
Milton ON L9T 7V9

Project No: 7-20-0004-41

Report Type: Quote - Custom-Build Your Own Report

Order No: 20191111166

Requested by: Terraprobe Ltd.

Date Completed: January 9, 2020

Table of Contents

Table of Contents.....	2
Executive Summary.....	3
Executive Summary: Report Summary.....	4
Executive Summary: Site Report Summary - Project Property.....	6
Executive Summary: Site Report Summary - Surrounding Properties.....	7
Executive Summary: Summary By Data Source.....	10
Map.....	14
Aerial.....	15
Topographic Map.....	16
Detail Report.....	17
Unplottable Summary.....	43
Unplottable Report.....	45
Appendix: Database Descriptions.....	76
Definitions.....	85

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Reliance on information in Report: This report DOES NOT replace a full Phase I Environmental Site Assessment but is solely intended to be used as a database review of environmental records.

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Executive Summary

Property Information:

Project Property: 6583 Trafalgar Road, Milton
6583 Trafalgar Road Milton ON L9T 7V9

Project No: 7-20-0004-41

Order Information:

Order No: 20191111166
Date Requested: November 11, 2019
Requested by: Terraprobe Ltd.
Report Type: Quote - Custom-Build Your Own Report

Historical/Products:

Executive Summary: Report Summary

Database	Name	Searched	Project Property	Boundary to 0.25km	Total
AAGR	Abandoned Aggregate Inventory	Y	0	0	0
AGR	Aggregate Inventory	Y	0	0	0
AMIS	Abandoned Mine Information System	Y	0	0	0
ANDR	Anderson's Waste Disposal Sites	Y	0	0	0
AST	Aboveground Storage Tanks	Y	0	0	0
AUWR	Automobile Wrecking & Supplies	Y	0	0	0
BORE	Borehole	Y	0	0	0
CA	Certificates of Approval	Y	0	0	0
CDRY	Dry Cleaning Facilities	Y	0	0	0
CFOT	Commercial Fuel Oil Tanks	Y	0	0	0
CHEM	Chemical Register	Y	0	0	0
CNG	Compressed Natural Gas Stations	Y	0	0	0
COAL	Inventory of Coal Gasification Plants and Coal Tar Sites	Y	0	0	0
CONV	Compliance and Convictions	Y	0	0	0
CPU	Certificates of Property Use	Y	0	0	0
DRL	Drill Hole Database	Y	0	0	0
EASR	Environmental Activity and Sector Registry	Y	0	0	0
EBR	Environmental Registry	Y	0	0	0
ECA	Environmental Compliance Approval	Y	0	0	0
EEM	Environmental Effects Monitoring	Y	0	0	0
EHS	ERIS Historical Searches	Y	0	2	2
EIIS	Environmental Issues Inventory System	Y	0	0	0
EMHE	Emergency Management Historical Event	Y	0	0	0
EPAR	Environmental Penalty Annual Report	Y	0	0	0
EXP	List of Expired Fuels Safety Facilities	Y	0	0	0
FCON	Federal Convictions	Y	0	0	0
FCS	Contaminated Sites on Federal Land	Y	0	0	0
FED TANKS	Federal Identification Registry for Storage Tank Systems (FIRSTS)	Y	0	0	0
FOFT	Fisheries & Oceans Fuel Tanks	Y	0	0	0
FST	Fuel Storage Tank	Y	0	0	0
FSTH	Fuel Storage Tank - Historic	Y	0	0	0
GEN	Ontario Regulation 347 Waste Generators Summary	Y	0	7	7
GHG	Greenhouse Gas Emissions from Large Facilities	Y	0	0	0
HINC	TSSA Historic Incidents	Y	0	0	0
IAFT	Indian & Northern Affairs Fuel Tanks	Y	0	0	0
INC	Fuel Oil Spills and Leaks	Y	0	0	0

Database	Name	Searched	Project Property	Boundary to 0.25km	Total
LIMO	<i>Landfill Inventory Management Ontario</i>	Y	0	0	0
MINE	<i>Canadian Mine Locations</i>	Y	0	0	0
MNR	<i>Mineral Occurrences</i>	Y	0	0	0
NATE	<i>National Analysis of Trends in Emergencies System (NATES)</i>	Y	0	0	0
NCPL	<i>Non-Compliance Reports</i>	Y	0	0	0
NDFT	<i>National Defense & Canadian Forces Fuel Tanks</i>	Y	0	0	0
NDSP	<i>National Defense & Canadian Forces Spills</i>	Y	0	0	0
NDWD	<i>National Defence & Canadian Forces Waste Disposal Sites</i>	Y	0	0	0
NEBI	<i>National Energy Board Pipeline Incidents</i>	Y	0	0	0
NEBP	<i>National Energy Board Wells</i>	Y	0	0	0
NEES	<i>National Environmental Emergencies System (NEES)</i>	Y	0	0	0
NPCB	<i>National PCB Inventory</i>	Y	0	0	0
NPRI	<i>National Pollutant Release Inventory</i>	Y	0	0	0
OGWE	<i>Oil and Gas Wells</i>	Y	0	0	0
OOGW	<i>Ontario Oil and Gas Wells</i>	Y	0	0	0
OPCB	<i>Inventory of PCB Storage Sites</i>	Y	0	0	0
ORD	<i>Orders</i>	Y	0	0	0
PAP	<i>Canadian Pulp and Paper</i>	Y	0	0	0
PCFT	<i>Parks Canada Fuel Storage Tanks</i>	Y	0	0	0
PES	<i>Pesticide Register</i>	Y	0	14	14
PINC	<i>Pipeline Incidents</i>	Y	0	0	0
PRT	<i>Private and Retail Fuel Storage Tanks</i>	Y	0	0	0
PTTW	<i>Permit to Take Water</i>	Y	0	0	0
REC	<i>Ontario Regulation 347 Waste Receivers Summary</i>	Y	0	0	0
RSC	<i>Record of Site Condition</i>	Y	0	0	0
RST	<i>Retail Fuel Storage Tanks</i>	Y	0	0	0
SCT	<i>Scott's Manufacturing Directory</i>	Y	0	0	0
SPL	<i>Ontario Spills</i>	Y	0	1	1
SRDS	<i>Wastewater Discharger Registration Database</i>	Y	0	0	0
TANK	<i>Anderson's Storage Tanks</i>	Y	0	0	0
TCFT	<i>Transport Canada Fuel Storage Tanks</i>	Y	0	0	0
VAR	<i>Variances for Abandonment of Underground Storage Tanks</i>	Y	0	0	0
WDS	<i>Waste Disposal Sites - MOE CA Inventory</i>	Y	0	0	0
WDSH	<i>Waste Disposal Sites - MOE 1991 Historical Approval Inventory</i>	Y	0	0	0
WWIS	<i>Water Well Information System</i>	Y	1	5	6
Total:		1	29	30	

Executive Summary: Site Report Summary - Project Property

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev diff (m)</i>	<i>Page Number</i>
<u>2</u>	WWIS		Milton ON	WSW/0.0	-1.00	<u>17</u>

Well ID: 7266008

Executive Summary: Site Report Summary - Surrounding Properties

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
<u>1</u>	SPL	McConnell Transport, <UNOFFICIAL>	between 6583 and 6541 Trafalgar Rd, NB, east side Milton ON	SW/23.1	-1.96	20
<u>3</u>	WWIS		HALTON HILLS ON <i>Well ID: 7239240</i>	SE/47.5	-1.00	20
<u>4</u>	PES	ARBOR GARDEN CENTRE AND NURSERY	6556 TRAFALGAR RD; R R 1 HORNBY ON L0P 1E0	SW/49.3	-2.89	23
<u>5</u>	EHS		Southeast of Trafalgar Road and Derry Road Milton ON L0P	W/79.4	-2.18	23
<u>6</u>	EHS		6647 Trafalgar Rd Milton ON L9T 7J8	W/79.9	-2.18	23
<u>7</u>	WWIS		lot 9 con 7 ON <i>Well ID: 2808176</i>	WSW/84.1	-1.00	24
<u>8</u>	PES	ARBOR GARDEN CENTRE AND NURSERY	6556 TRAFALGAR RD; R R 1 HORNBY ON L0P1E0	SW/120.9	-3.06	28
<u>8</u>	PES	MARTHA WAGEMAKER, HUB WAGEMAKER	6556 Trafalgar Rd Milton ON L9E 0Z2	SW/120.9	-3.06	28
<u>9</u>	WWIS		lot 9 con 7 ON <i>Well ID: 2806663</i>	WSW/135.1	-2.08	28
<u>10</u>	PES	PEEL EXTERIOR MAINTENANCE INC	6472 TRAFALGAR RD HORNBY ON L0P 1E0	S/237.7	-5.00	32
<u>11</u>	WWIS		lot 9 con 7 ON <i>Well ID: 2802634</i>	WSW/138.7	-1.00	33
<u>12</u>	PES	THE GROUNDSKEEPER LTD. /978646 ONTARIO INC.	6460 TRAFALGAR ROAD HORNBY ON L0P1E0	S/249.9	-5.11	35

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	R.R. #1, 6750 TRAFALGAR ROAD HORNBY ON L0P 1E0	W/230.9	-1.00	36
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR ROAD, R.R. #1 HORNBY ON L0P 1E0	W/230.9	-1.00	36
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR ROAD, R. R. #1 HORNBY ON L0P 1E0	W/230.9	-1.00	36
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P 1E0	W/230.9	-1.00	37
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P 1E0	W/230.9	-1.00	37
<u>13</u>	GEN	Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON	W/230.9	-1.00	38
<u>13</u>	GEN	Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON	W/230.9	-1.00	38
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P1E0	W/230.9	-1.00	38
<u>13</u>	GEN	Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON L0P1E0	W/230.9	-1.00	38
<u>13</u>	GEN	Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON L0P1E0	W/230.9	-1.00	39
<u>13</u>	GEN	Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON L0P1E0	W/230.9	-1.00	39
<u>13</u>	GEN	Van Dongen's Ltd.	6750 Trafalgar Road Milton ON L9E0Z2	W/230.9	-1.00	39

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	R. R. #1, 6750 TRAFALGAR ROAD HORNBY ON L0P1E0	W/230.9	-1.00	<u>40</u>
<u>13</u>	PES	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P1E0	W/230.9	-1.00	<u>40</u>
<u>13</u>	WWIS		Milton ON <i>Well ID: 7295983</i>	W/230.9	-1.00	<u>40</u>
<u>13</u>	PES	VAN DONGEN LANDSCAPING & NURSERIES LTD.	6750 Trafalgar RD MILTON ON L9E 0Z2	W/230.9	-1.00	<u>42</u>
<u>13</u>	GEN	Van Dongen's Ltd.	6750 Trafalgar Road Milton ON L9E0Z2	W/230.9	-1.00	<u>42</u>

Executive Summary: Summary By Data Source

EHS - ERIS Historical Searches

A search of the EHS database, dated 1999-Oct 31, 2019 has found that there are 2 EHS site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
	Southeast of Trafalgar Road and Derry Road Milton ON L0P	79.4	5
	6647 Trafalgar Rd Milton ON L9T 7J8	79.9	6

GEN - Ontario Regulation 347 Waste Generators Summary

A search of the GEN database, dated 1986-Oct 31, 2019 has found that there are 7 GEN site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON L0P1E0	230.9	13
Van Dongen's Ltd.	6750 Trafalgar Road Milton ON L9E0Z2	230.9	13
Van Dongen's Ltd.	6750 Trafalgar Road Milton ON L9E0Z2	230.9	13
Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON	230.9	13
Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON L0P1E0	230.9	13
Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON	230.9	13

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
Van Dongen's Ltd.	6750 Trafalgar Road Hornby ON L0P1E0	230.9	13

PES - Pesticide Register

A search of the PES database, dated 1988-Nov 2019 has found that there are 14 PES site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
ARBOR GARDEN CENTRE AND NURSERY	6556 TRAFALGAR RD; R R 1 HORNBY ON L0P 1E0	49.3	4
MARTHA WAGEMAKER, HUB WAGEMAKER	6556 Trafalgar Rd Milton ON L9E 0Z2	120.9	8
ARBOR GARDEN CENTRE AND NURSERY	6556 TRAFALGAR RD; R R 1 HORNBY ON L0P1E0	120.9	8
PEEL EXTERIOR MAINTENANCE INC	6472 TRAFALGAR RD HORNBY ON L0P 1E0	237.7	10
THE GROUNDSKEEPER LTD./978646 ONTARIO INC.	6460 TRAFALGAR ROAD HORNBY ON L0P1E0	249.9	12
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P 1E0	230.9	13
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P 1E0	230.9	13
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR ROAD, R. R. #1 HORNBY ON L0P 1E0	230.9	13

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	R. R. #1, 6750 TRAFALGAR ROAD HORNBY ON L0P1E0	230.9	13
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	R.R. #1, 6750 TRAFALGAR ROAD HORNBY ON L0P 1E0	230.9	13
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR ROAD, R.R. #1 HORNBY ON L0P1E0	230.9	13
VAN DONGEN LANDSCAPING & NURSERIES LTD.	6750 Trafalgar RD MILTON ON L9E 0Z2	230.9	13
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P1E0	230.9	13
VAN DONGEN'S LANDSCAPING AND NURSERIES LTD.	6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P1E0	230.9	13

SPL - Ontario Spills

A search of the SPL database, dated 1988-Jun 2019 has found that there are 1 SPL site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
McConnell Transport,<UNOFFICIAL>	between 6583 and 6541 Trafalgar Rd, NB, east side Milton ON	23.1	1

WWIS - Water Well Information System

A search of the WWIS database, dated Feb 28, 2019 has found that there are 6 WWIS site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
	Milton ON	0.0	2

Well ID: 7266008

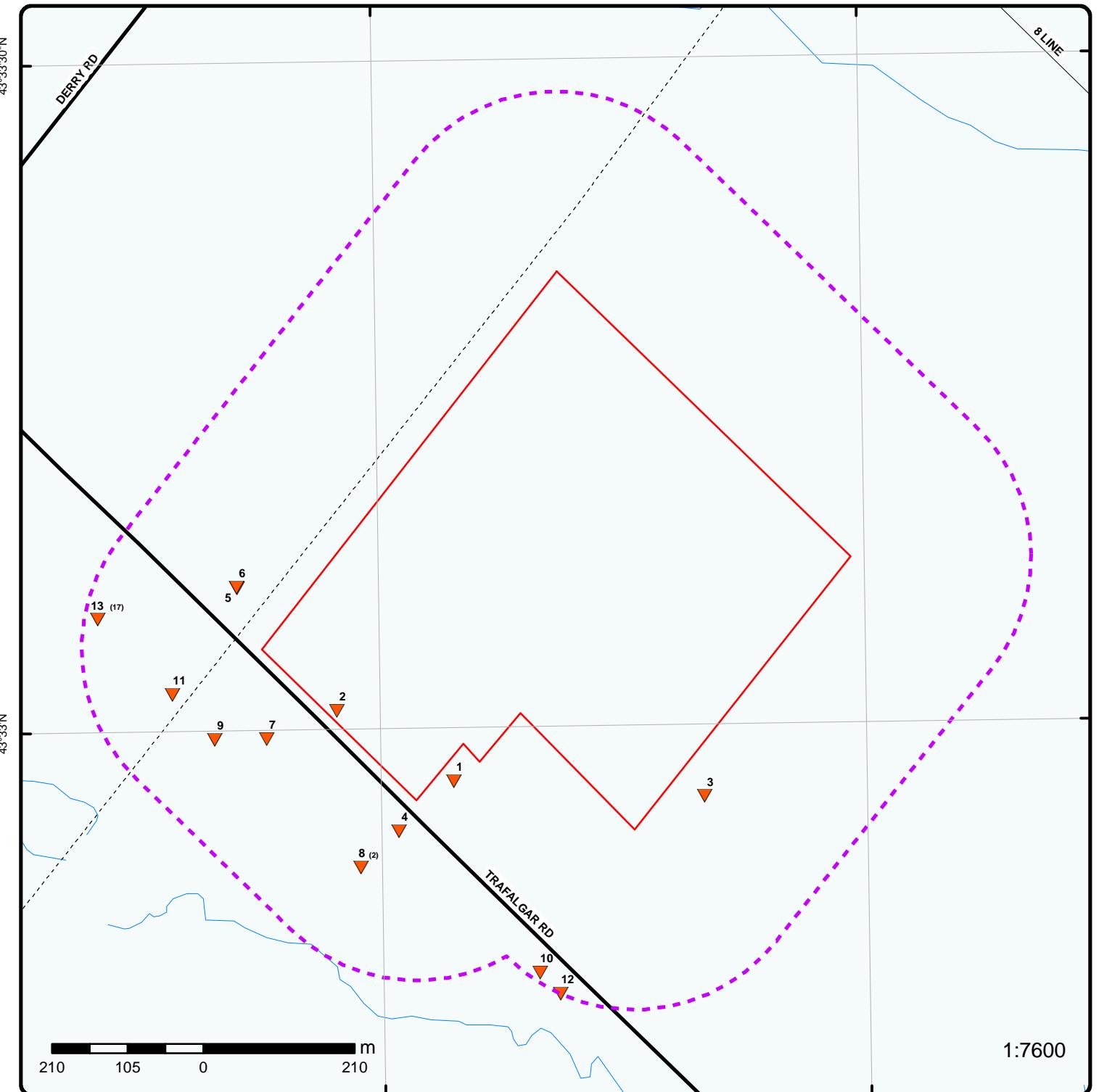
<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
	HALTON HILLS ON	47.5	<u>3</u>
	<i>Well ID:</i> 7239240		
	lot 9 con 7 ON	84.1	<u>7</u>
	<i>Well ID:</i> 2808176		
	lot 9 con 7 ON	135.1	<u>9</u>
	<i>Well ID:</i> 2806663		
	lot 9 con 7 ON	138.7	<u>11</u>
	<i>Well ID:</i> 2802634		
	Milton ON	230.9	<u>13</u>
	<i>Well ID:</i> 7295983		

79°48'W

79°47'30"W

43°33'30"N

43°33'30"N



Map : 0.25 Kilometer Radius

Order Number: 2019111166

Address: 6583 Trafalgar Road, Milton, ON

ERIS
ENVIRONMENTAL RISK INFORMATION SERVICES



 Project Property	 Expressway	 Industrial and Resource - Regions	 National Park
 Buffer Outline	 Principal Highway	 Main Line	 Provincial or Territorial Park
 Eris Sites with Higher Elevation	 Secondary Highway	 Sidetrack	 Other Park
 Eris Sites with Same Elevation	 Major Road	 Transit Line	 Golf Course or Driving Range
 Eris Sites with Lower Elevation	 Local road	 Abandoned Line	 Park or Sports Field
 Eris Sites with Unknown Elevation	 Trail		 Other Recreation Area
	 Proposed Road		
	 Ferry Route/Ice Road		

79°48'W



Aerial Year: 2017

Address: 6583 Trafalgar Road, Milton, ON

Source: ESRI World Imagery

Order Number: 20191111166

ERIS
ENVIRONMENTAL RISK INFORMATION SERVICES

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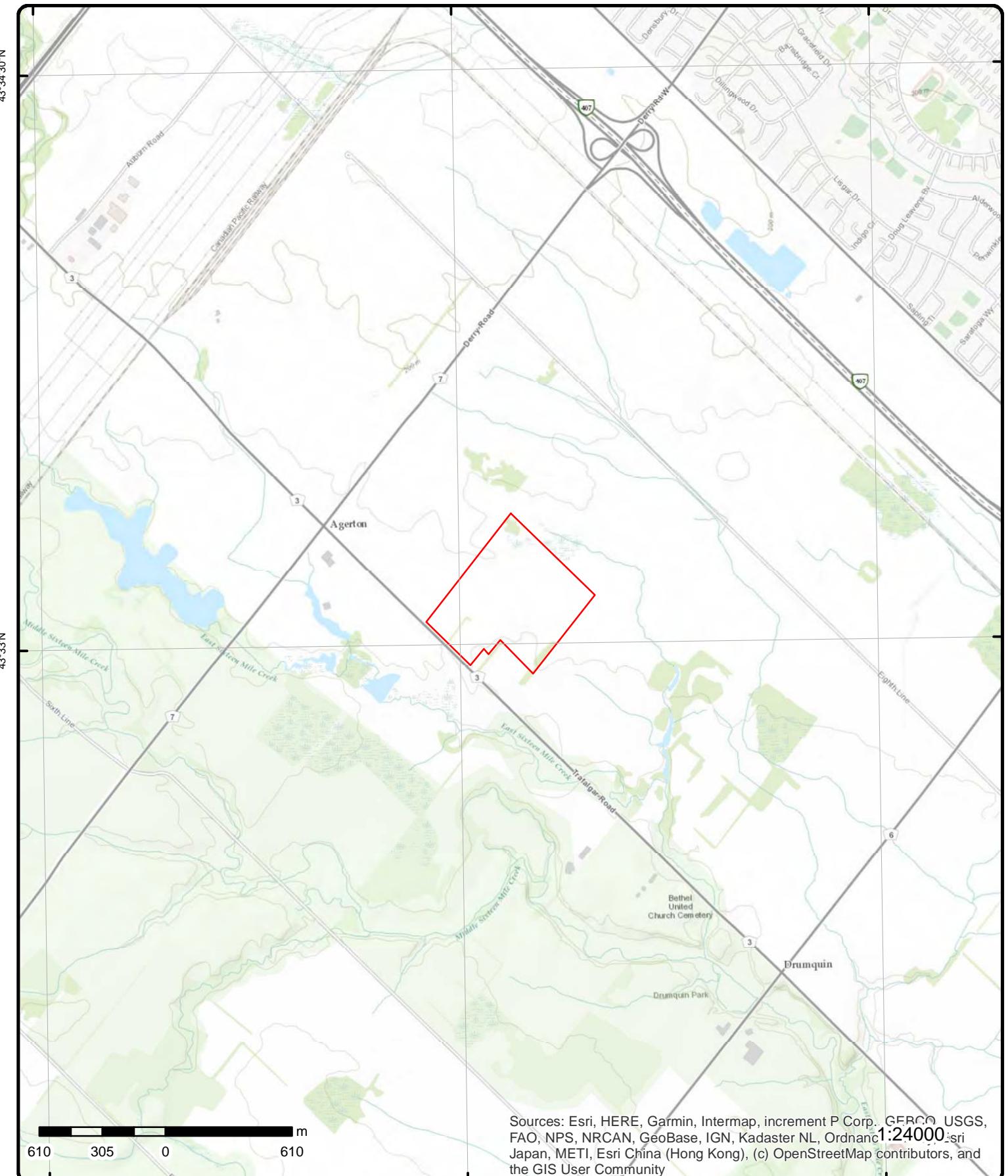
79°49'30"W

79°48'W

79°46'30"W

43°34'30"N

43°34'30"N



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEFCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

Topographic Map

Address: 6583 Trafalgar Road, ON

Source: ESRI World Topographic Map

Order Number: 20191111166



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Detail Report

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
2	1 of 1	WSW/0.0	189.9 / -1.00	Milton ON	WWIS
Well ID:	7266008			Data Entry Status:	
Construction Date:				Data Src:	
Primary Water Use:	Monitoring			Date Received:	7/6/2016
Sec. Water Use:				Selected Flag:	Yes
Final Well Status:	Observation Wells			Abandonment Rec:	
Water Type:				Contractor:	7238
Casing Material:				Form Version:	7
Audit No:	Z232698			Owner:	
Tag:	A201624			Street Name:	6583 TRAFALGAR ROAD
Construction Method:				County:	HALTON
Elevation (m):				Municipality:	MILTON TOWN (TRAFalGAR)
Elevation Reliability:				Site Info:	
Depth to Bedrock:				Lot:	
Well Depth:				Concession:	
Overburden/Bedrock:				Concession Name:	
Pump Rate:				Easting NAD83:	
Static Water Level:				Northing NAD83:	
Flowing (Y/N):				Zone:	
Flow Rate:				UTM Reliability:	
Clear/Cloudy:					

Bore Hole Information

Bore Hole ID:	1006106439	Elevation:	189.466156
DP2BR:		Elevrc:	
Spatial Status:		Zone:	17
Code OB:		East83:	596870
Code OB Desc:		North83:	4822618
Open Hole:		Org CS:	UTM83
Cluster Kind:		UTMRC:	4
Date Completed:	5/27/2016	UTMRC Desc:	margin of error : 30 m - 100 m
Remarks:		Location Method:	wwr
Elevrc Desc:			
Location Source Date:			
Improvement Location Source:			
Improvement Location Method:			
Source Revision Comment:			
Supplier Comment:			

Overburden and Bedrock

Materials Interval

Formation ID:	1006131907
Layer:	3
Color:	7
General Color:	RED
Mat1:	28
Most Common Material:	SAND
Mat2:	05
Other Materials:	CLAY

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Mat3:	12				
Other Materials:	STONES				
Formation Top Depth:	30				
Formation End Depth:	32				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	1006131908				
Layer:	4				
Color:	7				
General Color:	RED				
Mat1:	17				
Most Common Material:	SHALE				
Mat2:					
Other Materials:					
Mat3:	92				
Other Materials:	WEATHERED				
Formation Top Depth:	32				
Formation End Depth:	34.667				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	1006131906				
Layer:	2				
Color:	2				
General Color:	GREY				
Mat1:	05				
Most Common Material:	CLAY				
Mat2:	12				
Other Materials:	STONES				
Mat3:	84				
Other Materials:	SILTY				
Formation Top Depth:	18				
Formation End Depth:	30				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	1006131905				
Layer:	1				
Color:	2				
General Color:	GREY				
Mat1:	28				
Most Common Material:	SAND				
Mat2:					
Other Materials:					
Mat3:	84				
Other Materials:	SILTY				
Formation Top Depth:	0				
Formation End Depth:	18				
Formation End Depth UOM:	ft				
<u>Annular Space/Abandonment Sealing Record</u>					
Plug ID:	1006131915				
Layer:	1				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Plug From:</i>	34.667				
<i>Plug To:</i>	21.333				
<i>Plug Depth UOM:</i>	ft				
<u>Annular Space/Abandonment Sealing Record</u>					
<i>Plug ID:</i>	1006131917				
<i>Layer:</i>	3				
<i>Plug From:</i>	10.833				
<i>Plug To:</i>	0				
<i>Plug Depth UOM:</i>	ft				
<u>Annular Space/Abandonment Sealing Record</u>					
<i>Plug ID:</i>	1006131916				
<i>Layer:</i>	2				
<i>Plug From:</i>	21.333				
<i>Plug To:</i>	10.833				
<i>Plug Depth UOM:</i>	ft				
<u>Method of Construction & Well Use</u>					
<i>Method Construction ID:</i>					
<i>Method Construction Code:</i>	6				
<i>Method Construction:</i>	Boring				
<i>Other Method Construction:</i>	HSA				
<u>Pipe Information</u>					
<i>Pipe ID:</i>	1006131904				
<i>Casing No:</i>	0				
<i>Comment:</i>					
<i>Alt Name:</i>					
<u>Construction Record - Casing</u>					
<i>Casing ID:</i>	1006131911				
<i>Layer:</i>	1				
<i>Material:</i>	5				
<i>Open Hole or Material:</i>	PLASTIC				
<i>Depth From:</i>	3				
<i>Depth To:</i>	14				
<i>Casing Diameter:</i>	2				
<i>Casing Diameter UOM:</i>	inch				
<i>Casing Depth UOM:</i>	ft				
<u>Construction Record - Screen</u>					
<i>Screen ID:</i>	1006131912				
<i>Layer:</i>	1				
<i>Slot:</i>	10				
<i>Screen Top Depth:</i>	14				
<i>Screen End Depth:</i>	19				
<i>Screen Material:</i>	5				
<i>Screen Depth UOM:</i>	ft				
<i>Screen Diameter UOM:</i>	inch				
<i>Screen Diameter:</i>	2.25				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>Hole Diameter</u>					
<i>Hole ID:</i>	1006131909				
<i>Diameter:</i>	8				
<i>Depth From:</i>	0				
<i>Depth To:</i>	34.667				
<i>Hole Depth UOM:</i>	ft				
<i>Hole Diameter UOM:</i>	inch				
<u>1</u>	<u>1 of 1</u>	<u>SW/23.1</u>	<u>188.9 / -1.96</u>	<u>McConnell Transport,<UNOFFICIAL> between 6583 and 6541 Trafalgar Rd, NB, east side Milton ON</u>	<u>SPL</u>
<i>Ref No:</i>	3616-9C3RYU			<i>Discharger Report:</i>	
<i>Site No:</i>				<i>Material Group:</i>	
<i>Incident Dt:</i>	2013/10/01			<i>Health/Env Conseq:</i>	
<i>Year:</i>				<i>Client Type:</i>	
<i>Incident Cause:</i>	Leak/Break			<i>Sector Type:</i>	Truck - Transport/Hauling
<i>Incident Event:</i>				<i>Agency Involved:</i>	
<i>Contaminant Code:</i>	13			<i>Nearest Watercourse:</i>	
<i>Contaminant Name:</i>	DIESEL FUEL			<i>Site Address:</i>	between 6583 and 6541 Trafalgar Rd, NB, east side
<i>Contaminant Limit 1:</i>				<i>Site District Office:</i>	
<i>Contam Limit Freq 1:</i>				<i>Site Postal Code:</i>	
<i>Contaminant UN No 1:</i>				<i>Site Region:</i>	
<i>Environment Impact:</i>	Confirmed			<i>Site Municipality:</i>	Milton
<i>Nature of Impact:</i>	Soil Contamination			<i>Site Lot:</i>	
<i>Receiving Medium:</i>				<i>Site Conc:</i>	
<i>Receiving Env:</i>				<i>Northing:</i>	
<i>MOE Response:</i>	No Field Response			<i>Easting:</i>	
<i>Dt MOE Arvl on Scn:</i>				<i>Site Geo Ref Accu:</i>	
<i>MOE Reported Dt:</i>	2013/10/01			<i>Site Map Datum:</i>	
<i>Dt Document Closed:</i>				<i>SAC Action Class:</i>	Land Spills
<i>Incident Reason:</i>				<i>Source Type:</i>	
<i>Site Name:</i>	Unknown / N/A				
<i>Site County/District:</i>	gravel shoulder<UNOFFICIAL>				
<i>Site Geo Ref Meth:</i>					
<i>Incident Summary:</i>	McConnell Transport: 25L diesel to gravel shoulder				
<i>Contaminant Qty:</i>	25 L				
<u>3</u>	<u>1 of 1</u>	<u>SE/47.5</u>	<u>189.9 / -1.00</u>	<u>HALTON HILLS ON</u>	<u>WWIS</u>
<i>Well ID:</i>	7239240			<i>Data Entry Status:</i>	
<i>Construction Date:</i>				<i>Data Src:</i>	
<i>Primary Water Use:</i>	Monitoring and Test Hole			<i>Date Received:</i>	3/31/2015
<i>Sec. Water Use:</i>	0			<i>Selected Flag:</i>	Yes
<i>Final Well Status:</i>	Observation Wells			<i>Abandonment Rec:</i>	
<i>Water Type:</i>				<i>Contractor:</i>	7230
<i>Casing Material:</i>				<i>Form Version:</i>	7
<i>Audit No:</i>	Z121159			<i>Owner:</i>	
<i>Tag:</i>	A176339			<i>Street Name:</i>	8020 FIFTH LINE
<i>Construction Method:</i>				<i>County:</i>	HALTON
<i>Elevation (m):</i>				<i>Municipality:</i>	MILTON TOWN (TRAFalgar)
<i>Elevation Reliability:</i>				<i>Site Info:</i>	
<i>Depth to Bedrock:</i>				<i>Lot:</i>	
<i>Well Depth:</i>				<i>Concession:</i>	
<i>Overburden/Bedrock:</i>				<i>Concession Name:</i>	
<i>Pump Rate:</i>				<i>Easting NAD83:</i>	
<i>Static Water Level:</i>				<i>Northing NAD83:</i>	
<i>Flowing (Y/N):</i>				<i>Zone:</i>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Flow Rate:		UTM Reliability:			
Clear/Cloudy:					
<u>Bore Hole Information</u>					
Bore Hole ID:	1005318872		Elevation:	189.621002	
DP2BR:			Elevrc:		
Spatial Status:			Zone:	17	
Code OB:			East83:	597380	
Code OB Desc:			North83:	4822500	
Open Hole:			Org CS:	UTM83	
Cluster Kind:			UTMRC:	4	
Date Completed:	10/25/2014		UTMRC Desc:	margin of error : 30 m - 100 m	
Remarks:			Location Method:	wwr	
Elevrc Desc:					
Location Source Date:					
Improvement Location Source:					
Improvement Location Method:					
Source Revision Comment:					
Supplier Comment:					
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
Formation ID:	1005577527				
Layer:	2				
Color:	6				
General Color:	BROWN				
Mat1:	06				
Most Common Material:	SILT				
Mat2:	11				
Other Materials:	GRAVEL				
Mat3:	66				
Other Materials:	DENSE				
Formation Top Depth:	0.7				
Formation End Depth:	5.2				
Formation End Depth UOM:	m				
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
Formation ID:	1005577528				
Layer:	3				
Color:	2				
General Color:	GREY				
Mat1:	28				
Most Common Material:	SAND				
Mat2:	11				
Other Materials:	GRAVEL				
Mat3:	66				
Other Materials:	DENSE				
Formation Top Depth:	5.2				
Formation End Depth:	6.1				
Formation End Depth UOM:	m				
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
Formation ID:	1005577526				
Layer:	1				
Color:	2				
General Color:	GREY				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Mat1:</i>	01				
<i>Most Common Material:</i>	FILL				
<i>Mat2:</i>					
<i>Other Materials:</i>					
<i>Mat3:</i>					
<i>Other Materials:</i>					
<i>Formation Top Depth:</i>	0				
<i>Formation End Depth:</i>	0.7				
<i>Formation End Depth UOM:</i>	m				

Annular Space/Abandonment Sealing Record

Plug ID: 1005577536
Layer: 1
Plug From: 0
Plug To: 2.4
Plug Depth UOM: m

Method of Construction & Well Use

Method Construction ID:
Method Construction Code: 6
Method Construction: Boring
Other Method Construction:

Pipe Information

Pipe ID: 1005577525
Casing No: 0
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 1005577531
Layer: 1
Material: 5
Open Hole or Material: PLASTIC
Depth From: 0.9
Depth To: 3
Casing Diameter: 5.2
Casing Diameter UOM: cm
Casing Depth UOM: m

Construction Record - Screen

Screen ID: 1005577532
Layer: 1
Slot: 10
Screen Top Depth: 3
Screen End Depth: 6.1
Screen Material: 5
Screen Depth UOM: m
Screen Diameter UOM: cm
Screen Diameter: 6

Water Details

Water ID: 1005577530

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Layer:</i>	1				
<i>Kind Code:</i>	1				
<i>Kind:</i>	FRESH				
<i>Water Found Depth:</i>	3				
<i>Water Found Depth UOM:</i>	m				
<u>Hole Diameter</u>					
<i>Hole ID:</i>	1005577529				
<i>Diameter:</i>	20				
<i>Depth From:</i>	0.9				
<i>Depth To:</i>	6.1				
<i>Hole Depth UOM:</i>	m				
<i>Hole Diameter UOM:</i>	cm				
<u>4</u>	1 of 1	SW/49.3	188.0 / -2.89	ARBOR GARDEN CENTRE AND NURSERY 6556 TRAFALGAR RD; R R 1 HORNBY ON L0P 1E0	PES
<i>Detail Licence No:</i>				<i>Operator Box:</i>	
<i>Licence No:</i>				<i>Operator Class:</i>	
<i>Status:</i>				<i>Operator No:</i>	
<i>Approval Date:</i>				<i>Operator Type:</i>	
<i>Report Source:</i>				<i>Oper Area Code:</i>	
<i>Licence Type:</i>	Vendor			<i>Oper Phone No:</i>	
<i>Licence Type Code:</i>				<i>Operator Ext:</i>	
<i>Licence Class:</i>				<i>Operator Lot:</i>	
<i>Licence Control:</i>				<i>Oper Concession:</i>	
<i>Latitude:</i>				<i>Operator Region:</i>	
<i>Longitude:</i>				<i>Operator District:</i>	
<i>Lot:</i>				<i>Operator County:</i>	
<i>Concession:</i>				<i>Op Municipality:</i>	
<i>Region:</i>				<i>Post Office Box:</i>	
<i>District:</i>				<i>MOE District:</i>	
<i>County:</i>				<i>SWP Area Name:</i>	
<i>Trade Name:</i>					
<i>PDF Link:</i>					
<u>5</u>	1 of 1	W/79.4	188.7 / -2.18	Southeast of Trafalgar Road and Derry Road Milton ON L0P	EHS
<i>Order No:</i>	20190517264			<i>Nearest Intersection:</i>	
<i>Status:</i>	C			<i>Municipality:</i>	
<i>Report Type:</i>	Custom Report			<i>Client Prov/State:</i>	ON
<i>Report Date:</i>	27-MAY-19			<i>Search Radius (km):</i>	.25
<i>Date Received:</i>	17-MAY-19			<i>X:</i>	-79.802465
<i>Previous Site Name:</i>				<i>Y:</i>	43.551779
<i>Lot/Building Size:</i>					
<i>Additional Info Ordered:</i>					
<u>6</u>	1 of 1	W/79.9	188.7 / -2.18	6647 Trafalgar Rd Milton ON L9T 7J8	EHS
<i>Order No:</i>	20191001139			<i>Nearest Intersection:</i>	
<i>Status:</i>	C			<i>Municipality:</i>	
<i>Report Type:</i>	Custom Report			<i>Client Prov/State:</i>	ON
<i>Report Date:</i>	04-OCT-19			<i>Search Radius (km):</i>	.25
<i>Date Received:</i>	01-OCT-19			<i>X:</i>	-79.80247
<i>Previous Site Name:</i>				<i>Y:</i>	43.551782
<i>Lot/Building Size:</i>					
<i>Additional Info Ordered:</i>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
7	1 of 1	WSW/84.1	189.9 / -1.00	lot 9 con 7 ON	WWIS
Well ID:	2808176			Data Entry Status:	
Construction Date:				Data Src:	1
Primary Water Use:	Domestic			Date Received:	6/11/1993
Sec. Water Use:				Selected Flag:	Yes
Final Well Status:	Water Supply			Abandonment Rec:	
Water Type:				Contractor:	3030
Casing Material:				Form Version:	1
Audit No:	124109			Owner:	
Tag:				Street Name:	
Construction Method:				County:	HALTON
Elevation (m):				Municipality:	MILTON TOWN (TRAFalgar)
Elevation Reliability:				Site Info:	
Depth to Bedrock:				Lot:	009
Well Depth:				Concession:	07
Overburden/Bedrock:				Concession Name:	NS
Pump Rate:				Easting NAD83:	
Static Water Level:				Northing NAD83:	
Flowing (Y/N):				Zone:	
Flow Rate:				UTM Reliability:	
Clear/Cloudy:					

Bore Hole Information

Bore Hole ID:	10154433	Elevation:	189.794097
DP2BR:		Elevrc:	
Spatial Status:		Zone:	17
Code OB:	0	East83:	596773
Code OB Desc:	Overburden	North83:	4822579
Open Hole:		Org CS:	
Cluster Kind:		UTMRC:	3
Date Completed:	5/12/1993	UTMRC Desc:	margin of error : 10 - 30 m
Remarks:		Location Method:	gps
Elevrc Desc:			
Location Source Date:			
Improvement Location Source:			
Improvement Location Method:			
Source Revision Comment:			
Supplier Comment:			

Overburden and Bedrock

Materials Interval

Formation ID:	931450515
Layer:	4
Color:	2
General Color:	GREY
Mat1:	08
Most Common Material:	FINE SAND
Mat2:	
Other Materials:	
Mat3:	
Other Materials:	
Formation Top Depth:	13
Formation End Depth:	20
Formation End Depth UOM:	ft

Overburden and Bedrock

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>Materials Interval</u>					
<i>Formation ID:</i>	931450514				
<i>Layer:</i>	3				
<i>Color:</i>	3				
<i>General Color:</i>	BLUE				
<i>Mat1:</i>	05				
<i>Most Common Material:</i>	CLAY				
<i>Mat2:</i>					
<i>Other Materials:</i>					
<i>Mat3:</i>					
<i>Other Materials:</i>					
<i>Formation Top Depth:</i>	5				
<i>Formation End Depth:</i>	13				
<i>Formation End Depth UOM:</i>	ft				
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
<i>Formation ID:</i>	931450513				
<i>Layer:</i>	2				
<i>Color:</i>	6				
<i>General Color:</i>	BROWN				
<i>Mat1:</i>	28				
<i>Most Common Material:</i>	SAND				
<i>Mat2:</i>					
<i>Other Materials:</i>					
<i>Mat3:</i>					
<i>Other Materials:</i>					
<i>Formation Top Depth:</i>	1				
<i>Formation End Depth:</i>	5				
<i>Formation End Depth UOM:</i>	ft				
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
<i>Formation ID:</i>	931450512				
<i>Layer:</i>	1				
<i>Color:</i>	6				
<i>General Color:</i>	BROWN				
<i>Mat1:</i>	02				
<i>Most Common Material:</i>	TOPSOIL				
<i>Mat2:</i>					
<i>Other Materials:</i>					
<i>Mat3:</i>					
<i>Other Materials:</i>					
<i>Formation Top Depth:</i>	0				
<i>Formation End Depth:</i>	1				
<i>Formation End Depth UOM:</i>	ft				
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
<i>Formation ID:</i>	931450516				
<i>Layer:</i>	5				
<i>Color:</i>	3				
<i>General Color:</i>	BLUE				
<i>Mat1:</i>	05				
<i>Most Common Material:</i>	CLAY				
<i>Mat2:</i>	12				
<i>Other Materials:</i>	STONES				
<i>Mat3:</i>					
<i>Other Materials:</i>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Formation Top Depth:</i>	20				
<i>Formation End Depth:</i>	27				
<i>Formation End Depth UOM:</i>	ft				
<u>Annular Space/Abandonment Sealing Record</u>					
<i>Plug ID:</i>	933139862				
<i>Layer:</i>	1				
<i>Plug From:</i>	0				
<i>Plug To:</i>	8				
<i>Plug Depth UOM:</i>	ft				
<u>Method of Construction & Well Use</u>					
<i>Method Construction ID:</i>					
<i>Method Construction Code:</i>	6				
<i>Method Construction:</i>	Boring				
<i>Other Method Construction:</i>					
<u>Pipe Information</u>					
<i>Pipe ID:</i>	10703003				
<i>Casing No:</i>	1				
<i>Comment:</i>					
<i>Alt Name:</i>					
<u>Construction Record - Casing</u>					
<i>Casing ID:</i>	930262752				
<i>Layer:</i>	2				
<i>Material:</i>					
<i>Open Hole or Material:</i>					
<i>Depth From:</i>					
<i>Depth To:</i>	27				
<i>Casing Diameter:</i>	24				
<i>Casing Diameter UOM:</i>	inch				
<i>Casing Depth UOM:</i>	ft				
<u>Construction Record - Casing</u>					
<i>Casing ID:</i>	930262751				
<i>Layer:</i>	1				
<i>Material:</i>					
<i>Open Hole or Material:</i>					
<i>Depth From:</i>					
<i>Depth To:</i>	20				
<i>Casing Diameter:</i>	36				
<i>Casing Diameter UOM:</i>	inch				
<i>Casing Depth UOM:</i>	ft				
<u>Results of Well Yield Testing</u>					
<i>Pump Test ID:</i>	992808176				
<i>Pump Set At:</i>					
<i>Static Level:</i>	5				
<i>Final Level After Pumping:</i>	25				
<i>Recommended Pump Depth:</i>	23				
<i>Pumping Rate:</i>	45				
<i>Flowing Rate:</i>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Recommended Pump Rate:	4				
Levels UOM:	ft				
Rate UOM:	GPM				
Water State After Test Code:					
Water State After Test:					
Pumping Test Method:	2				
Pumping Duration HR:	0				
Pumping Duration MIN:	10				
Flowing:	N				
<u>Draw Down & Recovery</u>					
Pump Test Detail ID:	934181203				
Test Type:	Recovery				
Test Duration:	15				
Test Level:	24				
Test Level UOM:	ft				
<u>Draw Down & Recovery</u>					
Pump Test Detail ID:	934974723				
Test Type:	Recovery				
Test Duration:	60				
Test Level:	16				
Test Level UOM:	ft				
<u>Draw Down & Recovery</u>					
Pump Test Detail ID:	934454708				
Test Type:	Recovery				
Test Duration:	30				
Test Level:	21				
Test Level UOM:	ft				
<u>Draw Down & Recovery</u>					
Pump Test Detail ID:	934713844				
Test Type:	Recovery				
Test Duration:	45				
Test Level:	18				
Test Level UOM:	ft				
<u>Water Details</u>					
Water ID:	933611894				
Layer:	2				
Kind Code:	1				
Kind:	FRESH				
Water Found Depth:	13				
Water Found Depth UOM:	ft				
<u>Water Details</u>					
Water ID:	933611893				
Layer:	1				
Kind Code:	1				
Kind:	FRESH				
Water Found Depth:	5				
Water Found Depth UOM:	ft				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>8</u>	1 of 2	SW/120.9	187.8 / -3.06	ARBOR GARDEN CENTRE AND NURSERY 6556 TRAFALGAR RD; R R 1 HORNBY ON L0P1E0	PES
				Detail Licence No: Operator Box: Operator Class: Operator No: Operator Type: Oper Area Code: 905 Oper Phone No: 8761395 Operator Ext: Operator Lot: Oper Concession: Operator Region: Operator District: Operator County: Op Municipality: Post Office Box: MOE District: SWP Area Name:	
				Licence No: 14913 Status: Approval Date: Report Source: Legacy Licenses (Excluding TS) Licence Type: Limited Vendor Licence Type Code: 23 Licence Class: 01 Licence Control: Latitude: Longitude: Lot: Concession: Region: District: County: Trade Name: PDF Link: http://www.accessenvironment.ene.gov.on.ca/AEWeb/ae/ViewDocument.action?documentRefID=2173117	
<u>8</u>	2 of 2	SW/120.9	187.8 / -3.06	MARTHA WAGEMAKER, HUB WAGEMAKER 6556 Trafalgar Rd Milton ON L9E 0Z2	PES
				Detail Licence No: Operator Box: Operator Class: Operator No: Operator Type: Oper Area Code: Oper Phone No: Operator Ext: Operator Lot: Oper Concession: Operator Region: Operator District: Operator County: Op Municipality: Post Office Box: MOE District: Halton-Peel SWP Area Name: Halton	
				Licence No: L-232-4061735018 Status: Active Approval Date: 2019-08-19 Report Source: PEST-Limited Vendor Licence Type: Limited Vendor Licence Type Code: Licence Class: Licence Control: Latitude: 43.54833333 Longitude: -79.80027778 Lot: Concession: Region: District: County: Trade Name: PDF Link: http://www.accessenvironment.ene.gov.on.ca/AEWeb/ae/ViewDocument.action?documentRefID=2173117	
<u>9</u>	1 of 1	WSW/135.1	188.8 / -2.08	lot 9 con 7 ON	WWIS
				Well ID: 2806663 Construction Date: Primary Water Use: Domestic Sec. Water Use: Final Well Status: Water Supply Water Type: Casing Material: Audit No: 15839 Tag: Construction Method: Elevation (m): Elevation Reliability: Depth to Bedrock:	
				Data Entry Status: Data Src: 1 Date Received: 7/8/1987 Selected Flag: Yes Abandonment Rec: Contractor: 1660 Form Version: 1 Owner: Street Name: County: Municipality: HALTON Site Info: Lot: 009	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Well Depth:</i>				<i>Concession:</i>	07
<i>Overburden/Bedrock:</i>				<i>Concession Name:</i>	NS
<i>Pump Rate:</i>				<i>Easting NAD83:</i>	
<i>Static Water Level:</i>				<i>Northing NAD83:</i>	
<i>Flowing (Y/N):</i>				<i>Zone:</i>	
<i>Flow Rate:</i>				<i>UTM Reliability:</i>	
<i>Clear/Cloudy:</i>					

Bore Hole Information

<i>Bore Hole ID:</i>	10152932	<i>Elevation:</i>	189.151947
<i>DP2BR:</i>	56	<i>Elevrc:</i>	
<i>Spatial Status:</i>		<i>Zone:</i>	17
<i>Code OB:</i>	r	<i>East83:</i>	596701
<i>Code OB Desc:</i>	Bedrock	<i>North83:</i>	4822578
<i>Open Hole:</i>		<i>Org CS:</i>	
<i>Cluster Kind:</i>		<i>UTMRC:</i>	3
<i>Date Completed:</i>	6/20/1987	<i>UTMRC Desc:</i>	margin of error : 10 - 30 m
<i>Remarks:</i>		<i>Location Method:</i>	gps
<i>Elevrc Desc:</i>			
<i>Location Source Date:</i>			
<i>Improvement Location Source:</i>			
<i>Improvement Location Method:</i>			
<i>Source Revision Comment:</i>			
<i>Supplier Comment:</i>			

Overburden and Bedrock

Materials Interval

<i>Formation ID:</i>	931443786
<i>Layer:</i>	2
<i>Color:</i>	2
<i>General Color:</i>	GREY
<i>Mat1:</i>	05
<i>Most Common Material:</i>	CLAY
<i>Mat2:</i>	81
<i>Other Materials:</i>	SANDY
<i>Mat3:</i>	85
<i>Other Materials:</i>	SOFT
<i>Formation Top Depth:</i>	10
<i>Formation End Depth:</i>	22
<i>Formation End Depth UOM:</i>	ft

Overburden and Bedrock

Materials Interval

<i>Formation ID:</i>	931443789
<i>Layer:</i>	5
<i>Color:</i>	7
<i>General Color:</i>	RED
<i>Mat1:</i>	17
<i>Most Common Material:</i>	SHALE
<i>Mat2:</i>	11
<i>Other Materials:</i>	GRAVEL
<i>Mat3:</i>	85
<i>Other Materials:</i>	SOFT
<i>Formation Top Depth:</i>	56
<i>Formation End Depth:</i>	72
<i>Formation End Depth UOM:</i>	ft

Overburden and Bedrock

Materials Interval

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Formation ID:	931443790				
Layer:	6				
Color:	7				
General Color:	RED				
Mat1:	17				
Most Common Material:	SHALE				
Mat2:	73				
Other Materials:	HARD				
Mat3:					
Other Materials:					
Formation Top Depth:	72				
Formation End Depth:	92				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	931443785				
Layer:	1				
Color:	6				
General Color:	BROWN				
Mat1:	28				
Most Common Material:	SAND				
Mat2:	11				
Other Materials:	GRAVEL				
Mat3:	85				
Other Materials:	SOFT				
Formation Top Depth:	0				
Formation End Depth:	10				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	931443787				
Layer:	3				
Color:	2				
General Color:	GREY				
Mat1:	06				
Most Common Material:	SILT				
Mat2:	05				
Other Materials:	CLAY				
Mat3:	85				
Other Materials:	SOFT				
Formation Top Depth:	22				
Formation End Depth:	33				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	931443788				
Layer:	4				
Color:	7				
General Color:	RED				
Mat1:	28				
Most Common Material:	SAND				
Mat2:	11				
Other Materials:	GRAVEL				
Mat3:	73				
Other Materials:	HARD				
Formation Top Depth:	33				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Formation End Depth:</i>	56				

Formation End Depth:
Formation End Depth UOM:

Method Construction ID:
Method Construction Code: 1
Method Construction: Cable Tool
Other Method Construction:

Pipe Information

Pipe ID: 10701502
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930260062
Layer: 1
Material: 1
Open Hole or Material: STEEL
Depth From:
Depth To: 58
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Construction Record - Casing

Casing ID: 930260063
Layer: 2
Material: 4
Open Hole or Material: OPEN HOLE
Depth From:
Depth To: 92
Casing Diameter:
Casing Diameter UOM: inch
Casing Depth UOM: ft

Results of Well Yield Testing

Pump Test ID: 992806663
Pump Set At:
Static Level: 30
Final Level After Pumping: 85
Recommended Pump Depth: 89
Pumping Rate: 5
Flowing Rate:
Recommended Pump Rate: 3
Levels UOM: ft
Rate UOM: GPM
Water State After Test Code: 2
Water State After Test: CLOUDY
Pumping Test Method: 2
Pumping Duration HR: 1
Pumping Duration MIN: 20
Flowing: N

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>Draw Down & Recovery</u>					
<i>Pump Test Detail ID:</i>	934176234				
<i>Test Type:</i>	Recovery				
<i>Test Duration:</i>	15				
<i>Test Level:</i>	61				
<i>Test Level UOM:</i>	ft				
<u>Draw Down & Recovery</u>					
<i>Pump Test Detail ID:</i>	934709447				
<i>Test Type:</i>	Recovery				
<i>Test Duration:</i>	45				
<i>Test Level:</i>	40				
<i>Test Level UOM:</i>	ft				
<u>Draw Down & Recovery</u>					
<i>Pump Test Detail ID:</i>	934450287				
<i>Test Type:</i>	Recovery				
<i>Test Duration:</i>	30				
<i>Test Level:</i>	49				
<i>Test Level UOM:</i>	ft				
<u>Draw Down & Recovery</u>					
<i>Pump Test Detail ID:</i>	934970835				
<i>Test Type:</i>	Recovery				
<i>Test Duration:</i>	60				
<i>Test Level:</i>	33				
<i>Test Level UOM:</i>	ft				
<u>Water Details</u>					
<i>Water ID:</i>	933610014				
<i>Layer:</i>	1				
<i>Kind Code:</i>	2				
<i>Kind:</i>	SALTY				
<i>Water Found Depth:</i>	89				
<i>Water Found Depth UOM:</i>	ft				

10	1 of 1	S/237.7	185.9 / -5.00	PEEL EXTERIOR MAINTENANCE INC 6472 TRAFALGAR RD HORNBY ON LOP 1EO	PES
<i>Detail Licence No:</i>	02-01-05691-0			<i>Operator Box:</i>	
<i>Licence No:</i>	05691			<i>Operator Class:</i>	
<i>Status:</i>				<i>Operator No:</i>	
<i>Approval Date:</i>				<i>Operator Type:</i>	
<i>Report Source:</i>				<i>Oper Area Code:</i>	
<i>Licence Type:</i>	Operator			<i>Oper Phone No:</i>	
<i>Licence Type Code:</i>	02			<i>Operator Ext:</i>	
<i>Licence Class:</i>	01			<i>Operator Lot:</i>	
<i>Licence Control:</i>	0			<i>Oper Concession:</i>	
<i>Latitude:</i>				<i>Operator Region:</i>	3
<i>Longitude:</i>				<i>Operator District:</i>	
<i>Lot:</i>				<i>Operator County:</i>	28
<i>Concession:</i>				<i>Op Municipality:</i>	
<i>Region:</i>				<i>Post Office Box:</i>	
<i>District:</i>				<i>MOE District:</i>	
<i>County:</i>				<i>SWP Area Name:</i>	
<i>Trade Name:</i>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
PDF Link:					
11	1 of 1	WSW/138.7	189.9 / -1.00	lot 9 con 7 ON	WWIS

Well ID: 2802634
Construction Date:
Primary Water Use: Domestic
Sec. Water Use: 0
Final Well Status: Water Supply
Water Type:
Casing Material:
Audit No:
Tag:
Construction Method:
Elevation (m):
Elevation Reliability:
Depth to Bedrock:
Well Depth:
Overburden/Bedrock:
Pump Rate:
Static Water Level:
Flowing (Y/N):
Flow Rate:
Clear/Cloudy:

Data Entry Status:
Data Src: 1
Date Received: 1/4/1966
Selected Flag: Yes
Abandonment Rec:
Contractor: 1308
Form Version: 1
Owner:
Street Name:
County: HALTON
Municipality: MILTON TOWN (TRAFalgar)
Site Info:
Lot: 009
Concession: 07
Concession Name: NS
Easting NAD83:
Northing NAD83:
Zone:
UTM Reliability:

Bore Hole Information

Bore Hole ID: 10149183
DP2BR:
Spatial Status:
Code OB: 0
Code OB Desc: Overburden
Open Hole:
Cluster Kind:
Date Completed: 10/18/1965
Remarks:
Elevrc Desc:
Location Source Date:
Improvement Location Source:
Improvement Location Method:
Source Revision Comment:
Supplier Comment:

Elevation: 189.886795
Elevrc:
Zone: 17
East83: 596642.5
North83: 4822640
Org CS:
UTMRC: 5
UTMRC Desc:
Location Method: margin of error : 100 m - 300 m
p5

Overburden and Bedrock

Materials Interval

Formation ID: 931429145
Layer: 2
Color: 6
General Color: BROWN
Mat1: 09
Most Common Material: MEDIUM SAND
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 2
Formation End Depth: 6
Formation End Depth UOM: ft

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	931429144				
Layer:	1				
Color:					
General Color:					
Mat1:	02				
Most Common Material:	TOPSOIL				
Mat2:					
Other Materials:					
Mat3:					
Other Materials:					
Formation Top Depth:	0				
Formation End Depth:	2				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	931429147				
Layer:	4				
Color:					
General Color:					
Mat1:	09				
Most Common Material:	MEDIUM SAND				
Mat2:					
Other Materials:					
Mat3:					
Other Materials:					
Formation Top Depth:	10				
Formation End Depth:	30				
Formation End Depth UOM:	ft				
<u>Overburden and Bedrock Materials Interval</u>					
Formation ID:	931429146				
Layer:	3				
Color:	6				
General Color:	BROWN				
Mat1:	05				
Most Common Material:	CLAY				
Mat2:					
Other Materials:					
Mat3:					
Other Materials:					
Formation Top Depth:	6				
Formation End Depth:	10				
Formation End Depth UOM:	ft				
<u>Method of Construction & Well Use</u>					
Method Construction ID:					
Method Construction Code:	6				
Method Construction:	Boring				
Other Method Construction:					
<u>Pipe Information</u>					
Pipe ID:	10697753				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Casing No:	1				
Comment:					
Alt Name:					
<u>Construction Record - Casing</u>					
Casing ID:	930253844				
Layer:	1				
Material:	3				
Open Hole or Material:	CONCRETE				
Depth From:					
Depth To:	30				
Casing Diameter:	36				
Casing Diameter UOM:	inch				
Casing Depth UOM:	ft				
<u>Results of Well Yield Testing</u>					
Pump Test ID:	992802634				
Pump Set At:					
Static Level:	20				
Final Level After Pumping:	27				
Recommended Pump Depth:	28				
Pumping Rate:	1				
Flowing Rate:					
Recommended Pump Rate:	1				
Levels UOM:	ft				
Rate UOM:	GPM				
Water State After Test Code:	1				
Water State After Test:	CLEAR				
Pumping Test Method:	1				
Pumping Duration HR:	0				
Pumping Duration MIN:	30				
Flowing:	N				
<u>Water Details</u>					
Water ID:	933604746				
Layer:	1				
Kind Code:	1				
Kind:	FRESH				
Water Found Depth:	20				
Water Found Depth UOM:	ft				

[12](#) [1 of 1](#)

[S/249.9](#)

[185.7 / -5.11](#)

[THE GROUNDSKEEPER LTD./978646 ONTARIO](#)

[INC.](#)

[6460 TRAFALGAR ROAD](#)

[HORNYB ON L0P1E0](#)

[PES](#)

Detail Licence No:

Licence No: 03986

Status:

Approval Date:

Report Source: Legacy Licenses (Excluding TS)

Licence Type: Operator

Licence Type Code: 01

Licence Class: 06

Licence Control:

Latitude:

Longitude:

Lot:

Concession:

Operator Box:

Operator Class:

Operator No:

Operator Type:

Oper Area Code: 905

Oper Phone No: 3383355

Operator Ext:

Operator Lot:

Oper Concession:

Operator Region:

Operator District:

Operator County:

Op Municipality:

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Region:</i> <i>District:</i> <i>County:</i> <i>Trade Name:</i> <i>PDF Link:</i>				<i>Post Office Box:</i> <i>MOE District:</i> <i>SWP Area Name:</i>	
13	1 of 17	W/230.9	189.9 / -1.00	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. <i>R.R. #1, 6750 TRAFALGAR ROAD</i> <i>HORNBY ON LOP 1E0</i>	PES
<i>Detail Licence No:</i> <i>Licence No:</i> <i>Status:</i> <i>Approval Date:</i> <i>Report Source:</i> <i>Licence Type:</i> Operator <i>Licence Type Code:</i> <i>Licence Class:</i> <i>Licence Control:</i> <i>Latitude:</i> <i>Longitude:</i> <i>Lot:</i> <i>Concession:</i> <i>Region:</i> <i>District:</i> <i>County:</i> <i>Trade Name:</i> <i>PDF Link:</i>				<i>Operator Box:</i> <i>Operator Class:</i> <i>Operator No:</i> <i>Operator Type:</i> <i>Oper Area Code:</i> <i>Oper Phone No:</i> <i>Operator Ext:</i> <i>Operator Lot:</i> <i>Oper Concession:</i> <i>Operator Region:</i> <i>Operator District:</i> <i>Operator County:</i> <i>Op Municipality:</i> <i>Post Office Box:</i> <i>MOE District:</i> <i>SWP Area Name:</i>	
13	2 of 17	W/230.9	189.9 / -1.00	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. <i>6750 TRAFALGAR ROAD, R.R. #1</i> <i>HORNBY ON LOP 1E0</i>	PES
<i>Detail Licence No:</i> <i>Licence No:</i> <i>Status:</i> <i>Approval Date:</i> <i>Report Source:</i> <i>Licence Type:</i> Vendor <i>Licence Type Code:</i> <i>Licence Class:</i> <i>Licence Control:</i> <i>Latitude:</i> <i>Longitude:</i> <i>Lot:</i> <i>Concession:</i> <i>Region:</i> <i>District:</i> <i>County:</i> <i>Trade Name:</i> <i>PDF Link:</i>				<i>Operator Box:</i> <i>Operator Class:</i> <i>Operator No:</i> <i>Operator Type:</i> <i>Oper Area Code:</i> <i>Oper Phone No:</i> <i>Operator Ext:</i> <i>Operator Lot:</i> <i>Oper Concession:</i> <i>Operator Region:</i> <i>Operator District:</i> <i>Operator County:</i> <i>Op Municipality:</i> <i>Post Office Box:</i> <i>MOE District:</i> <i>SWP Area Name:</i>	
13	3 of 17	W/230.9	189.9 / -1.00	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. <i>6750 TRAFALGAR ROAD, R. R. #1</i> <i>HORNBY ON LOP 1E0</i>	PES
<i>Detail Licence No:</i>	23-01-05840-0			<i>Operator Box:</i>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Licence No:</i>	05840			<i>Operator Class:</i>	
<i>Status:</i>				<i>Operator No:</i>	
<i>Approval Date:</i>				<i>Operator Type:</i>	
<i>Report Source:</i>				<i>Oper Area Code:</i>	
<i>Licence Type:</i>	Limited Vendor			<i>Oper Phone No:</i>	
<i>Licence Type Code:</i>	23			<i>Operator Ext:</i>	
<i>Licence Class:</i>	01			<i>Operator Lot:</i>	
<i>Licence Control:</i>	0			<i>Oper Concession:</i>	
<i>Latitude:</i>				<i>Operator Region:</i>	3
<i>Longitude:</i>				<i>Operator District:</i>	1
<i>Lot:</i>				<i>Operator County:</i>	49
<i>Concession:</i>				<i>Op Municipality:</i>	
<i>Region:</i>	3			<i>Post Office Box:</i>	
<i>District:</i>	1			<i>MOE District:</i>	
<i>County:</i>	49			<i>SWP Area Name:</i>	
<i>Trade Name:</i>					
<i>PDF Link:</i>					
13	4 of 17	W/230.9	189.9 / -1.00	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. 6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P 1E0	PES
<i>Detail Licence No:</i>				<i>Operator Box:</i>	
<i>Licence No:</i>				<i>Operator Class:</i>	
<i>Status:</i>				<i>Operator No:</i>	
<i>Approval Date:</i>				<i>Operator Type:</i>	
<i>Report Source:</i>				<i>Oper Area Code:</i>	
<i>Licence Type:</i>	Limited Vendor			<i>Oper Phone No:</i>	
<i>Licence Type Code:</i>	23			<i>Operator Ext:</i>	
<i>Licence Class:</i>				<i>Operator Lot:</i>	
<i>Licence Control:</i>				<i>Oper Concession:</i>	
<i>Latitude:</i>				<i>Operator Region:</i>	
<i>Longitude:</i>				<i>Operator District:</i>	
<i>Lot:</i>				<i>Operator County:</i>	
<i>Concession:</i>				<i>Op Municipality:</i>	
<i>Region:</i>				<i>Post Office Box:</i>	
<i>District:</i>				<i>MOE District:</i>	
<i>County:</i>				<i>SWP Area Name:</i>	
<i>Trade Name:</i>					
<i>PDF Link:</i>					
13	5 of 17	W/230.9	189.9 / -1.00	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. 6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P 1E0	PES
<i>Detail Licence No:</i>				<i>Operator Box:</i>	
<i>Licence No:</i>				<i>Operator Class:</i>	
<i>Status:</i>				<i>Operator No:</i>	
<i>Approval Date:</i>				<i>Operator Type:</i>	
<i>Report Source:</i>				<i>Oper Area Code:</i>	
<i>Licence Type:</i>	Vendor			<i>Oper Phone No:</i>	
<i>Licence Type Code:</i>				<i>Operator Ext:</i>	
<i>Licence Class:</i>				<i>Operator Lot:</i>	
<i>Licence Control:</i>				<i>Oper Concession:</i>	
<i>Latitude:</i>				<i>Operator Region:</i>	
<i>Longitude:</i>				<i>Operator District:</i>	
<i>Lot:</i>				<i>Operator County:</i>	
<i>Concession:</i>				<i>Op Municipality:</i>	
<i>Region:</i>				<i>Post Office Box:</i>	
<i>District:</i>				<i>MOE District:</i>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
County: Trade Name: PDF Link:		SWP Area Name:			
13	6 of 17	W/230.9	189.9 / -1.00	<i>Van Dongen's Ltd. 6750 Trafalgar Road Hornby ON</i>	GEN
Generator No:	ON9626750			PO Box No:	
Status:				Country:	
Approval Years:	2012			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No Admin:	
SIC Code:	541320				
SIC Description:	Landscape Architectural Services				
13	7 of 17	W/230.9	189.9 / -1.00	<i>Van Dongen's Ltd. 6750 Trafalgar Road Hornby ON</i>	GEN
Generator No:	ON9626750			PO Box No:	
Status:				Country:	
Approval Years:	2013			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No Admin:	
SIC Code:	541320				
SIC Description:	LANDSCAPE ARCHITECTURAL SERVICES				
<u>Detail(s)</u>					
Waste Class:	252				
Waste Class Desc:	WASTE OILS & LUBRICANTS				
13	8 of 17	W/230.9	189.9 / -1.00	<i>VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. 6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P1E0</i>	PES
Detail Licence No:				Operator Box:	
Licence No:	05840			Operator Class:	
Status:				Operator No:	
Approval Date:				Operator Type:	
Report Source:	Legacy Licenses (Excluding TS)			Oper Area Code:	905
Licence Type:	Limited Vendor			Oper Phone No:	8781105
Licence Type Code:	23			Operator Ext:	
Licence Class:	01			Operator Lot:	
Licence Control:				Oper Concession:	
Latitude:				Operator Region:	
Longitude:				Operator District:	
Lot:				Operator County:	
Concession:				Op Municipality:	
Region:				Post Office Box:	
District:				MOE District:	
County:				SWP Area Name:	
Trade Name:					
PDF Link:					
13	9 of 17	W/230.9	189.9 / -1.00	<i>Van Dongen's Ltd. 6750 Trafalgar Road Hornby ON L0P1E0</i>	GEN

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Generator No: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON9626750 2016 No No 541320 LANDSCAPE ARCHITECTURAL SERVICES			PO Box No: Country: Choice of Contact: Co Admin: Phone No Admin:	Canada CO_OFFICIAL
Detail(s)					
Waste Class: Waste Class Desc:	252 WASTE OILS & LUBRICANTS				
<u>13</u>	10 of 17	W/230.9	189.9 / -1.00	<i>Van Dongen's Ltd. 6750 Trafalgar Road Hornby ON L0P1E0</i>	GEN
Generator No: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON9626750 2015 No No 541320 LANDSCAPE ARCHITECTURAL SERVICES			PO Box No: Country: Choice of Contact: Co Admin: Phone No Admin:	Canada CO_OFFICIAL
Detail(s)					
Waste Class: Waste Class Desc:	252 WASTE OILS & LUBRICANTS				
<u>13</u>	11 of 17	W/230.9	189.9 / -1.00	<i>Van Dongen's Ltd. 6750 Trafalgar Road Hornby ON L0P1E0</i>	GEN
Generator No: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON9626750 2014 No No 541320 LANDSCAPE ARCHITECTURAL SERVICES			PO Box No: Country: Choice of Contact: Co Admin: Phone No Admin:	Canada CO_OFFICIAL
Detail(s)					
Waste Class: Waste Class Desc:	252 WASTE OILS & LUBRICANTS				
<u>13</u>	12 of 17	W/230.9	189.9 / -1.00	<i>Van Dongen's Ltd. 6750 Trafalgar Road Milton ON L9E0Z2</i>	GEN
Generator No: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON9626750 Registered As of Dec 2018 LANDSCAPE ARCHITECTURAL SERVICES			PO Box No: Country: Choice of Contact: Co Admin: Phone No Admin:	Canada

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>Detail(s)</u>					
Waste Class:	252 L				
Waste Class Desc:	Waste crankcase oils and lubricants				
13	13 of 17	W/230.9	189.9 / -1.00	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. R. R. #1, 6750 TRAFALGAR ROAD HORNBY ON L0P1E0	PES
Detail Licence No:				Operator Box:	
Licence No:	00702			Operator Class:	
Status:				Operator No:	
Approval Date:				Operator Type:	
Report Source:	Legacy Licenses (Excluding TS)			Oper Area Code:	905
Licence Type:	Operator			Oper Phone No:	2771651
Licence Type Code:	01			Operator Ext:	
Licence Class:	06			Operator Lot:	
Licence Control:				Oper Concession:	
Latitude:				Operator Region:	
Longitude:				Operator District:	
Lot:				Operator County:	
Concession:				Op Municipality:	
Region:				Post Office Box:	
District:				MOE District:	
County:				SWP Area Name:	
Trade Name:					
PDF Link:					
13	14 of 17	W/230.9	189.9 / -1.00	VAN DONGEN'S LANDSCAPING AND NURSERIES LTD. 6750 TRAFALGAR RD, R. R. #1 HORNBY ON L0P1E0	PES
Detail Licence No:				Operator Box:	
Licence No:	05840			Operator Class:	
Status:				Operator No:	
Approval Date:				Operator Type:	
Report Source:	Legacy Licenses (Excluding TS)			Oper Area Code:	905
Licence Type:	Retail Vendor Class 03			Oper Phone No:	8781105
Licence Type Code:	21			Operator Ext:	
Licence Class:	03			Operator Lot:	
Licence Control:				Oper Concession:	
Latitude:				Operator Region:	
Longitude:				Operator District:	
Lot:				Operator County:	
Concession:				Op Municipality:	
Region:				Post Office Box:	
District:				MOE District:	
County:				SWP Area Name:	
Trade Name:					
PDF Link:					
13	15 of 17	W/230.9	189.9 / -1.00	Milton ON	WWIS
Well ID:	7295983			Data Entry Status:	
Construction Date:				Data Src:	
Primary Water Use:				Date Received:	10/4/2017
Sec. Water Use:				Selected Flag:	Yes
Final Well Status:	Abandoned-Other			Abandonment Rec:	Yes

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<i>Water Type:</i>				<i>Contractor:</i>	7282
<i>Casing Material:</i>				<i>Form Version:</i>	7
<i>Audit No:</i>	Z259789			<i>Owner:</i>	
<i>Tag:</i>				<i>Street Name:</i>	DERRY ROAD AND TRAFALGAR RD
<i>Construction Method:</i>				<i>County:</i>	HALTON
<i>Elevation (m):</i>				<i>Municipality:</i>	MILTON TOWN (TRAFALGAR)
<i>Elevation Reliability:</i>				<i>Site Info:</i>	
<i>Depth to Bedrock:</i>				<i>Lot:</i>	
<i>Well Depth:</i>				<i>Concession:</i>	
<i>Overburden/Bedrock:</i>				<i>Concession Name:</i>	
<i>Pump Rate:</i>				<i>Easting NAD83:</i>	
<i>Static Water Level:</i>				<i>Northing NAD83:</i>	
<i>Flowing (Y/N):</i>				<i>Zone:</i>	
<i>Flow Rate:</i>				<i>UTM Reliability:</i>	
<i>Clear/Cloudy:</i>					

Bore Hole Information

<i>Bore Hole ID:</i>	1006746486	<i>Elevation:</i>	192.006851
<i>DP2BR:</i>		<i>Elevrc:</i>	
<i>Spatial Status:</i>		<i>Zone:</i>	17
<i>Code OB:</i>		<i>East83:</i>	596266
<i>Code OB Desc:</i>		<i>North83:</i>	4823123
<i>Open Hole:</i>		<i>Org CS:</i>	UTM83
<i>Cluster Kind:</i>		<i>UTMRC:</i>	4
<i>Date Completed:</i>	8/17/2017	<i>UTMRC Desc:</i>	margin of error : 30 m - 100 m
<i>Remarks:</i>		<i>Location Method:</i>	wwr
<i>Elevrc Desc:</i>			
<i>Location Source Date:</i>			
<i>Improvement Location Source:</i>			
<i>Improvement Location Method:</i>			
<i>Source Revision Comment:</i>			
<i>Supplier Comment:</i>			

Pipe Information

<i>Pipe ID:</i>	1006838069
<i>Casing No:</i>	0
<i>Comment:</i>	
<i>Alt Name:</i>	

Construction Record - Casing

<i>Casing ID:</i>	1006838073
<i>Layer:</i>	
<i>Material:</i>	
<i>Open Hole or Material:</i>	
<i>Depth From:</i>	
<i>Depth To:</i>	
<i>Casing Diameter:</i>	
<i>Casing Diameter UOM:</i>	inch
<i>Casing Depth UOM:</i>	ft

Construction Record - Screen

<i>Screen ID:</i>	1006838074
<i>Layer:</i>	
<i>Slot:</i>	
<i>Screen Top Depth:</i>	
<i>Screen End Depth:</i>	
<i>Screen Material:</i>	
<i>Screen Depth UOM:</i>	ft

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
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Screen Diameter UOM:	inch
Screen Diameter:	
<u>Hole Diameter</u>	
Hole ID:	1006838071
Diameter:	8
Depth From:	0
Depth To:	52
Hole Depth UOM:	ft
Hole Diameter UOM:	inch

13	16 of 17	W/230.9	189.9 / -1.00	VAN DONGEN LANDSCAPING & NURSERIES LTD. 6750 Trafalgar RD MILTON ON L9E 0Z2	PES
<u>Detail Licence No:</u>					
Licence No:	L-232-1052144098			Operator Box:	
Status:	Active			Operator Class:	
Approval Date:	2019-04-12			Operator No:	
Report Source:	PEST-Limited Vendor			Operator Type:	
Licence Type:	Limited Vendor			Oper Area Code:	
Licence Type Code:				Oper Phone No:	
Licence Class:				Operator Ext:	
Licence Control:				Operator Lot:	
Latitude:	43.55194444			Oper Concession:	
Longitude:	-79.80666667			Operator Region:	
Lot:				Operator District:	
Concession:				Operator County:	
Region:				Op Municipality:	
District:				Post Office Box:	
County:				MOE District:	Halton-Peel
Trade Name:				SWP Area Name:	Halton
PDF Link:	http://www.accessenvironment.ene.gov.on.ca/AEWeb/ae/ViewDocument.action?documentRefID=2144703				

13	17 of 17	W/230.9	189.9 / -1.00	Van Dongen's Ltd. 6750 Trafalgar Road Milton ON L9E0Z2	GEN
<u>Generator No:</u>					
Generator No:	ON9626750			PO Box No:	
Status:	Registered			Country:	Canada
Approval Years:	As of Oct 2019			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No Admin:	
SIC Code:					
SIC Description:					

Detail(s)

Waste Class:	252 L
Waste Class Desc:	Waste crankcase oils and lubricants

Unplottable Summary

Total: 26 Unplottable sites

DB	Company Name/Site Name	Address	City	Postal
CA	1319536 Ontario Ltd.	Part of Lots 7 & 8, Concession 7	Milton ON	
CA	The Regional Municipality of Halton	Trafalgar Rd	Milton ON	
CA	R.M. OF HALTON	TRAfalgar RD./REGIONAL RD. #3	MILTON TOWN ON	
CA	DUFFERIN AGGREGATES	LOTS 9-11, CONC. 7/LOTS 9/10 C7	MILTON ON	
FST	SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL	LOT 10 CON 7	MILTON ON	L9T 2X7
FST	SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL	LOT 10 CON 7	MILTON ON	L9T 2X7
FST	SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL	LOT 10 CON 7	MILTON ON	L9T 2X7
FSTH	SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL	LOT 10 CON 7	MILTON ON	
FSTH	SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL	LOT 10 CON 7	MILTON ON	
GEN	CYANAMID CANADA INC.	LOT 10, CONCESSION 7 ESQESING TOWNSHIP	HALTON ON	L7G 4S5
GEN	SHERIDAN COLLEGE OF HEAVY EQUIP.	LOT 10 & 11, CON. 7 - NASSAGAWAEYA C/O RR #3	MILTON ON	L9T 2X7
LIMO	Milton Evergreen Cemetery	Lot 13 Concession 2 TRAFALGAR Milton	ON	
LIMO	Milton Evergreen Cemetery			
LIMO	unknown Milton Fairgrounds	Lot 9 Concession 7 NELSON Milton	ON	
LIMO	unknown Milton site	Lot 1 Concession 6 TRAFALGAR Milton	ON	
LIMO	Regional Municipality of Halton	Lot 12 Concession 2 TRAFALGAR Milton	ON	
PRT	Brian Best Park			
PRT	SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL	LOT 10 CON 7	MILTON ON	

PTTW	Millennium Golf Club (1319536 Ontario Limited, Kaneff Properties Limited)	Parts of Lots 7,8, Concession 7, (Trafalgar) TOWN OF MILTON	ON
SPL	CHALMERS FUEL	ASSOCIATED PAVING, WEST SIDE OF TRAFalgar RD, NORTH OF DERRY RD TANK TRUCK (CARGO)	MILTON TOWN ON
SPL		TRAFalgar RD 1 KM N OF STEELES AVE (S BOUND DITCH)<UNOFFICIAL>	Milton ON
WWIS		lot 9	ON
WWIS		lot 8	ON
WWIS		lot 9	ON
WWIS		lot 10	ON
WWIS		lot 9	ON
WWIS		lot 8 con 7	ON
WWIS		con 7	ON

Unplottable Report

Site: 1319536 Ontario Ltd.
Part of Lots 7 & 8, Concession 7 Milton ON **Database:**
CA

Certificate #: 8804-5FDNNH
Application Year: 2002
Issue Date: 11/6/2002
Approval Type: Municipal and Private Sewage Works
Status: Approved
Application Type:
Client Name:
Client Address:
Client City:
Client Postal Code:
Project Description:
Contaminants:
Emission Control:

Site: The Regional Municipality of Halton
Trafalgar Rd Milton ON **Database:**
CA

Certificate #: 7295-77FT9A
Application Year: 2007
Issue Date: 10/1/2007
Approval Type: Municipal and Private Sewage Works
Status: Approved
Application Type:
Client Name:
Client Address:
Client City:
Client Postal Code:
Project Description:
Contaminants:
Emission Control:

Site: R.M. OF HALTON
TRAFalgar RD./REGIONAL RD. #3 MILTON TOWN ON **Database:**
CA

Certificate #: 3-0562-94-
Application Year: 94
Issue Date: 6/1/1994
Approval Type: Municipal sewage
Status: Approved
Application Type:
Client Name:
Client Address:
Client City:
Client Postal Code:
Project Description:
Contaminants:
Emission Control:

Site: DUFFERIN AGGREGATES
LOTS 9-11, CONC. 7/LOTS 9/10 C7 MILTON ON **Database:**
CA

Certificate #: 8-3647-98-

Application Year: 98
Issue Date: //
Approval Type: Industrial air
Status: In progress
Application Type:
Client Name:
Client Address:
Client City:
Client Postal Code:
Project Description: RELOCATION OF PRIMARY CRUSHER
Contaminants:
Emission Control:

Site: SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL
LOT 10 CON 7 MILTON ON L9T 2X7 **Database:**
FST

Instance No: 10849512
Cont Name:
Instance Type: FS Liquid Fuel Tank
Fuel Type: Diesel
Status: Active
Capacity: 22700
Tank Material: Steel
Corrosion Protection: Impressed Current
Tank Type: Single Wall UST
Install Year: 1990
Parent Facility Type: Fuels Safety Private Fuel Outlet - Self Serve
Facility Type: FS Liquid Fuel Tank

Site: SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL
LOT 10 CON 7 MILTON ON L9T 2X7 **Database:**
FST

Instance No: 10849497
Cont Name:
Instance Type: FS Liquid Fuel Tank
Fuel Type: Gasoline
Status: Active
Capacity: 10000
Tank Material: Steel
Corrosion Protection: Impressed Current
Tank Type: Single Wall UST
Install Year: 1990
Parent Facility Type: Fuels Safety Private Fuel Outlet - Self Serve
Facility Type: FS Liquid Fuel Tank

Site: SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL
LOT 10 CON 7 MILTON ON L9T 2X7 **Database:**
FST

Instance No: 10849479
Cont Name:
Instance Type: FS Liquid Fuel Tank
Fuel Type: Gasoline
Status: Active
Capacity: 10000
Tank Material: Steel
Corrosion Protection: Impressed Current
Tank Type: Single Wall UST
Install Year: 1990
Parent Facility Type: Fuels Safety Private Fuel Outlet - Self Serve
Facility Type: FS Liquid Fuel Tank

Site: SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL **Database:**
FSTH

LOT 10 CON 7 MILTON ON

License Issue Date: 1/11/1991
Tank Status: Licensed
Tank Status As Of: August 2007
Operation Type: Private Fuel Outlet
Facility Type: Gasoline Station - Self Serve

--Details--

Status: Active
Year of Installation: 1990
Corrosion Protection:
Capacity: 22700
Tank Fuel Type: Liquid Fuel Single Wall UST - Diesel

Status: Active
Year of Installation: 1990
Corrosion Protection:
Capacity: 10000
Tank Fuel Type: Liquid Fuel Single Wall UST - Gasoline

Status: Active
Year of Installation: 1990
Corrosion Protection:
Capacity: 10000
Tank Fuel Type: Liquid Fuel Single Wall UST - Gasoline

Site: **SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL**
LOT 10 CON 7 MILTON ON

Database:
FSTH

License Issue Date: 1/11/1991
Tank Status: Licensed
Tank Status As Of: December 2008
Operation Type: Private Fuel Outlet
Facility Type: Gasoline Station - Self Serve

--Details--

Status: Active
Year of Installation: 1990
Corrosion Protection:
Capacity: 10000
Tank Fuel Type: Liquid Fuel Single Wall UST - Gasoline

Status: Active
Year of Installation: 1990
Corrosion Protection:
Capacity: 10000
Tank Fuel Type: Liquid Fuel Single Wall UST - Gasoline

Status: Active
Year of Installation: 1990
Corrosion Protection:
Capacity: 22700
Tank Fuel Type: Liquid Fuel Single Wall UST - Diesel

Site: **CYANAMID CANADA INC.**
LOT 10, CONCESSION 7 ESQESING TOWNSHIP HALTON ON L7G 4S5

Database:
GEN

Generator No: ON0015507
Status:
Approval Years: 98,99,00,01
Contam. Facility:
MHSW Facility:
SIC Code: 0239

PO Box No:
Country:
Choice of Contact:
Co Admin:
Phone No Admin:

SIC Description: OTHER AGRIC. SERV.

Detail(s)

Waste Class: 242
Waste Class Desc: HALOGENATED PESTICIDES

Waste Class: 269
Waste Class Desc: NON-HALOGENATED PESTICIDES

Site: SHERIDAN COLLEGE OF HEAVY EQUIP.
LOT 10 & 11, CON. 7 - NASSAGAWAEYA C/O RR #3 MILTON ON L9T 2X7

Database:
GEN

Generator No: ON0158301
Status:
Approval Years: 86,87,88,89,90
Contam. Facility:
MHSW Facility:
SIC Code: 8521
SIC Description: POST-SEC. NON-UNIV.

PO Box No:
Country:
Choice of Contact:
Co Admin:
Phone No Admin:

Detail(s)

Waste Class: 213
Waste Class Desc: PETROLEUM DISTILLATES

Waste Class: 252
Waste Class Desc: WASTE OILS & LUBRICANTS

Site: Milton Evergreen Cemetery Milton Evergreen Cemetery
Lot 13 Concession 2 TRAFALGAR Milton ON

Database:
LIMO

ECA/Instrument No: X7043
Open Status 2016: Historic
C of A Issue Date:
C of A Issued to:
Lndfl Gas Mgmt (P):
Lndfl Gas Mgmt (F):
Lndfl Gas Mgmt (E):
Lndfl Gas Mgmt Sys:
Landfill Gas Mntr:
Leachate Coll Sys:
ERC Est Vol (m3):
ERC Volume Unit:
ERC Dt Last Det:
Landfill Type:
Source File Type: Historic and Closed Landfills
Fill Rate:
Fill Rate Unit:
Tot Fill Area (ha):
Tot Site Area (ha):
Footprint:
Tot Apprv Cap (m3):
Contam Atten Zone:
Grndwtr Mntr:
Surf Wtr Mntr:
Air Emis Monitor:
Approved Waste Type:
Client Site Name: Milton Evergreen Cemetery
Milton Evergreen Cemetery

Natural Attenuation:
Liners:
Cover Material:
Leachate Off-Site:
Leachate On Site:
Req Coll Lndfl Gas:
Lndfl Gas Coll:
Total Waste Rec:
TWR Methodology:
TWR Unit:
Tot Aprv Cap Unit:
Financial Assurance:
Last Report Year:
MOE Region:
MOE District:
Site County:
Lot:
Concession:
Latitude:
Longitude:
Easting:
Northing:
UTM Zone:
Data Source:

ERC Methodology:
Site Name:
Site Location Details: Lot 13 Concession 2 TRAFALGAR

Milton

Service Area:

Site: *unknown Milton Fairgrounds*
Lot 9 Concession 7 NELSON Milton ON

Database:
LIMO

ECA/Instrument No: X7041
Oper Status 2016: Historic
C of A Issue Date:
C of A Issued to:
Lndfl Gas Mgmt (P):
Lndfl Gas Mgmt (F):
Lndfl Gas Mgmt (E):
Lndfl Gas Mgmt Sys:
Landfill Gas Mntr:
Leachate Coll Sys:
ERC Est Vol (m3):
ERC Volume Unit:
ERC Dt Last Det:
Landfill Type:
Source File Type: Historic and Closed Landfills
Fill Rate:
Fill Rate Unit:
Tot Fill Area (ha):
Tot Site Area (ha):
Footprint:
Tot Apprv Cap (m3):
Contam Atten Zone:
Grndwtr Mntr:
Surf Wtr Mntr:
Air Emis Monitor:
Approved Waste Type:
Client Site Name: unknown
Milton Fairgrounds
ERC Methodology:
Site Name:
Site Location Details: Lot 9 Concession 7 NELSON
Milton
Service Area:
Page URL:

Natural Attenuation:
Liners:
Cover Material:
Leachate Off-Site:
Leachate On Site:
Req Coll Lndfl Gas:
Lndfill Gas Coll:
Total Waste Rec:
TWR Methodology:
TWR Unit:
Tot Aprv Cap Unit:
Financial Assurance:
Last Report Year:
MOE Region:
MOE District:
Site County:
Lot:
Concession:
Latitude:
Longitude:
Easting:
Northing:
UTM Zone:
Data Source:

Site: *unknown Milton site*
Lot 1 Concession 6 TRAFALGAR Milton ON

Database:
LIMO

ECA/Instrument No: X7045
Oper Status 2016: Historic
C of A Issue Date:
C of A Issued to:
Lndfl Gas Mgmt (P):
Lndfl Gas Mgmt (F):
Lndfl Gas Mgmt (E):
Lndfl Gas Mgmt Sys:
Landfill Gas Mntr:
Leachate Coll Sys:
ERC Est Vol (m3):
ERC Volume Unit:
ERC Dt Last Det:
Landfill Type:
Source File Type: Historic and Closed Landfills
Fill Rate:
Fill Rate Unit:
Tot Fill Area (ha):
Tot Site Area (ha):
Footprint:
Tot Apprv Cap (m3):
Contam Atten Zone:

Natural Attenuation:
Liners:
Cover Material:
Leachate Off-Site:
Leachate On Site:
Req Coll Lndfl Gas:
Lndfill Gas Coll:
Total Waste Rec:
TWR Methodology:
TWR Unit:
Tot Aprv Cap Unit:
Financial Assurance:
Last Report Year:
MOE Region:
MOE District:
Site County:
Lot:
Concession:
Latitude:
Longitude:
Easting:
Northing:

Grndwtr Mntr:
Surf Wtr Mntr:
Air Emis Monitor:
Approved Waste Type:
Client Site Name: unknown
ERC Methodology:
Site Name:
Site Location Details: Lot 1 Concession 6 TRAFALGAR
Milton
Service Area:
Page URL:

Site: **Regional Municipality of Halton Brian Best Park** **Database:** **LIMO**
Lot 12 Concession 2 TRAFALGAR Milton ON

ECA/Instrument No: X7042 **Natural Attenuation:**
Oper Status 2016: Historic **Liners:**
C of A Issue Date: **Cover Material:**
C of A Issued to: **Leachate Off-Site:**
Lndfl Gas Mgmt (P): **Leachate On Site:**
Lndfl Gas Mgmt (F): **Req Coll Lndfl Gas:**
Lndfl Gas Mgmt (E): **Lndfl Gas Coll:**
Lndfl Gas Mgmt Sys: **Total Waste Rec:**
Landfill Gas Mntr: **TWR Methodology:**
Leachate Coll Sys: **TWR Unit:**
ERC Est Vol (m3): **Tot Aprv Cap Unit:**
ERC Volume Unit: **Financial Assurance:**
ERC Dt Last Det: **Last Report Year:**
Landfill Type: **MOE Region:**
Source File Type: Historic and Closed Landfills **MOE District:**
Fill Rate: **Site County:**
Fill Rate Unit: **Lot:**
Tot Fill Area (ha): **Concession:**
Tot Site Area (ha): **Latitude:**
Footprint: **Longitude:**
Tot Apprv Cap (m3): **Easting:**
Contam Atten Zone: **Northing:**
Grndwtr Mntr: **UTM Zone:**
Surf Wtr Mntr: **Data Source:**
Air Emis Monitor:
Approved Waste Type:
Client Site Name: Regional Municipality of Halton Brian Best Park
ERC Methodology:
Site Name:
Site Location Details: Lot 12 Concession 2 TRAFALGAR
Milton
Service Area:
Page URL:

Site: **SHERIDAN COLLEGE HEAVY EQUIPMENT SCHOOL** **Database:** **PRT**
LOT 10 CON 7 MILTON ON

Location ID: 8845
Type: private
Expiry Date:
Capacity (L): 42700.00
Licence #: 0001000973

Site: **Millennium Golf Club (1319536 Ontario Limited, Kaneff Properties Limited)** **Database:** **PTTW**
Parts of Lots 7,8, Concession 7, (Trafalgar) TOWN OF MILTON ON

EBR Registry No: IA00E0779
Ministry Ref No: 00-P-3040
Notice Type: Instrument Decision
Notice Stage:
Notice Date: November 02, 2000
Proposal Date: May 03, 2000
Year: 2000
Instrument Type: (OWRA s. 34) - Permit to Take Water
Off Instrument Name:
Posted By:
Company Name: Millennium Golf Club (1319536 Ontario Limited, Kaneff Properties Limited)
Site Address:
Location Other:
Proponent Name:
Proponent Address: 1290 Central Parkway West, Mississauga Ontario, L5C 4R3
Comment Period:
URL:

Site Location Details:

Parts of Lots 7,8, Concession 7, (Trafalgar) TOWN OF MILTON

Site: CHALMERS FUEL
ASSOCIATED PAVING, WEST SIDE OF TRAFALGAR RD, NORTH OF DERRY RD TANK TRUCK (CARGO) MILTON TOWN ON **Database:** **SPL**
Ref No: 76765 **Discharger Report:**
Site No: **Material Group:**
Incident Dt: 9/23/1992 **Health/Env Conseq:**
Year: **Client Type:**
Incident Cause: PIPE/HOSE LEAK **Sector Type:**
Incident Event: **Agency Involved:**
Contaminant Code: **Nearest Watercourse:**
Contaminant Name: **Site Address:**
Contaminant Limit 1: **Site District Office:**
Contam Limit Freq 1: **Site Postal Code:**
Contaminant UN No 1: **Site Region:**
Environment Impact: CONFIRMED **Site Municipality:** 14402
Nature of Impact: Soil contamination **Site Lot:**
Receiving Medium: LAND **Site Conc:**
Receiving Env: **Northing:**
MOE Response: **Easting:**
Dt MOE Arvl on Scn: **Site Geo Ref Accu:**
MOE Reported Dt: 9/25/1992 **Site Map Datum:**
Dt Document Closed: **SAC Action Class:**
Incident Reason: ERROR **Source Type:**
Site Name:
Site County/District:
Site Geo Ref Meth:
Incident Summary: CHALMERS FUEL -50-100L GASOLINE ONTO ASPHALT AT CUSTOMER'S PROPERTY.
Contaminant Qty:

Site: TRAFALGAR RD 1 KM N OF STEELES AVE (S BOUND DITCH)<UNOFFICIAL> Milton ON **Database:** **SPL**
Ref No: 6532-5S5PZM **Discharger Report:**
Site No: **Material Group:** Oil
Incident Dt: 10/8/2003 **Health/Env Conseq:**
Year: **Client Type:**
Incident Cause: Other Transport Accident **Sector Type:**
Incident Event: **Agency Involved:**
Contaminant Code: 13 **Nearest Watercourse:**
Contaminant Name: DIESEL FUEL **Site Address:**
Contaminant Limit 1: **Site District Office:** Halton-Peel

Contam Limit Freq 1:
Contaminant UN No 1:
Environment Impact: Possible
Nature of Impact: Soil Contamination
Receiving Medium: Land
Receiving Env:
MOE Response:
Dt MOE Arvl on Scn:
MOE Reported Dt: 10/8/2003
Dt Document Closed:
Incident Reason: Unknown - Reason not determined
Site Name: TRAFALGAR RD 1 KM N OF STEELES AVE (S BOUND DITCH)<UNOFFICIAL>
Site County/District:
Site Geo Ref Meth:
Incident Summary: Duffer.Conc.: 10 gal diesel + Hydr.oil to ditch
Contaminant Qty: 45 L

Site: lot 9 ON **Database:** WWIS
Well ID: 2808978 **Data Entry Status:**
Construction Date: **Data Src:** 1
Primary Water Use: Domestic **Date Received:** 4/1/1999
Sec. Water Use: **Selected Flag:** Yes
Final Well Status: Water Supply **Abandonment Rec:**
Water Type: **Contractor:** 3406
Casing Material: **Form Version:** 1
Audit No: 195951 **Owner:**
Tag: **Street Name:**
Construction Method: **County:** HALTON
Elevation (m): **Municipality:** MILTON TOWN (NASSAGAWEYA)
Elevation Reliability: **Site Info:**
Depth to Bedrock: **Lot:** 009
Well Depth: **Concession:**
Overburden/Bedrock: **Concession Name:** CON
Pump Rate: **Easting NAD83:**
Static Water Level: **Northing NAD83:**
Flowing (Y/N): **Zone:**
Flow Rate: **UTM Reliability:**
Clear/Cloudy:

Bore Hole Information

Bore Hole ID: 10155235 **Elevation:**
DP2BR: 65 **Elevrc:**
Spatial Status: **Zone:** 17
Code OB: v **East83:**
Code OB Desc: Overburden below Bedrock **North83:**
Open Hole: **Org CS:**
Cluster Kind: **UTMRC:** 9
Date Completed: 8/30/1998 **UTMRC Desc:** unknown UTM
Remarks: **Location Method:** na
Elevrc Desc:
Location Source Date:
Improvement Location Source:
Improvement Location Method:
Source Revision Comment:
Supplier Comment:

Overburden and Bedrock

Materials Interval

Formation ID: 931453747
Layer: 2
Color: 2

General Color: GREY
Mat1: 05
Most Common Material: CLAY
Mat2: 11
Other Materials: GRAVEL
Mat3:
Other Materials:
Formation Top Depth: 18
Formation End Depth: 65
Formation End Depth UOM: ft

Overburden and Bedrock Materials Interval

Formation ID: 931453746
Layer: 1
Color: 6
General Color: BROWN
Mat1: 05
Most Common Material: CLAY
Mat2: 28
Other Materials: SAND
Mat3:
Other Materials:
Formation Top Depth: 0
Formation End Depth: 18
Formation End Depth UOM: ft

Overburden and Bedrock Materials Interval

Formation ID: 931453750
Layer: 5
Color:
General Color:
Mat1: 15
Most Common Material: LIMESTONE
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 123
Formation End Depth: 125
Formation End Depth UOM: ft

Overburden and Bedrock Materials Interval

Formation ID: 931453748
Layer: 3
Color:
General Color:
Mat1: 15
Most Common Material: LIMESTONE
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 65
Formation End Depth: 122
Formation End Depth UOM: ft

Overburden and Bedrock Materials Interval

Formation ID: 931453749
Layer: 4
Color:
General Color:
Mat1: 05
Most Common Material: CLAY
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 122
Formation End Depth: 123
Formation End Depth UOM: ft

Annular Space/Abandonment Sealing Record

Plug ID: 933140386
Layer: 1
Plug From: 0
Plug To:
Plug Depth UOM: ft

Method of Construction & Well Use

Method Construction ID:
Method Construction Code: 1
Method Construction: Cable Tool
Other Method Construction:

Pipe Information

Pipe ID: 10703805
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930264166
Layer: 1
Material: 1
Open Hole or Material: STEEL
Depth From:
Depth To: 67
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Construction Record - Casing

Casing ID: 930264167
Layer: 2
Material: 4
Open Hole or Material: OPEN HOLE
Depth From:
Depth To: 125
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Results of Well Yield Testing

Pump Test ID: 992808978
Pump Set At:
Static Level: 14
Final Level After Pumping: 14
Recommended Pump Depth: 14
Pumping Rate: 6
Flowing Rate:
Recommended Pump Rate: 6
Levels UOM: ft
Rate UOM: GPM
Water State After Test Code: 1
Water State After Test: CLEAR
Pumping Test Method: 1
Pumping Duration HR: 1
Pumping Duration MIN: 0
Flowing: N

Draw Down & Recovery

Pump Test Detail ID: 934977491
Test Type:
Test Duration: 60
Test Level: 14
Test Level UOM: ft

Water Details

Water ID: 933613051
Layer: 1
Kind Code: 5
Kind: Not stated
Water Found Depth: 77
Water Found Depth UOM: ft

Water Details

Water ID: 933613052
Layer: 2
Kind Code: 5
Kind: Not stated
Water Found Depth: 122
Water Found Depth UOM: ft

Site:
lot 8 ON

Database:
WWIS

Well ID:	2808972	Data Entry Status:	
Construction Date:		Data Src:	1
Primary Water Use:	Domestic	Date Received:	4/1/1999
Sec. Water Use:		Selected Flag:	Yes
Final Well Status:	Water Supply	Abandonment Rec:	
Water Type:		Contractor:	3406
Casing Material:		Form Version:	1
Audit No:	195953	Owner:	
Tag:		Street Name:	
Construction Method:		County:	HALTON
Elevation (m):		Municipality:	MILTON TOWN (NASSAGAWEYA)
Elevation Reliability:		Site Info:	
Depth to Bedrock:		Lot:	008
Well Depth:		Concession:	
Overburden/Bedrock:		Concession Name:	CON
Pump Rate:		Easting NAD83:	
Static Water Level:		Northing NAD83:	
Flowing (Y/N):		Zone:	
Flow Rate:		UTM Reliability:	
Clear/Cloudy:			

Bore Hole Information

Bore Hole ID:	10155229	Elevation:	
DP2BR:	50	Elevrc:	
Spatial Status:		Zone:	17
Code OB:	r	East83:	
Code OB Desc:	Bedrock	North83:	
Open Hole:		Org CS:	
Cluster Kind:		UTMRC:	
Date Completed:	9/1/1998	UTMRC Desc:	9
Remarks:		Location Method:	unknown UTM
Elevrc Desc:			na
Location Source Date:			
Improvement Location Source:			
Improvement Location Method:			
Source Revision Comment:			
Supplier Comment:			

Overburden and Bedrock

Materials Interval

Formation ID:	931453728
Layer:	2
Color:	2
General Color:	GREY
Mat1:	05
Most Common Material:	CLAY
Mat2:	12
Other Materials:	STONES
Mat3:	
Other Materials:	
Formation Top Depth:	18
Formation End Depth:	50
Formation End Depth UOM:	ft

Overburden and Bedrock

Materials Interval

Formation ID:	931453729
Layer:	3
Color:	
General Color:	
Mat1:	15
Most Common Material:	LIMESTONE
Mat2:	
Other Materials:	
Mat3:	
Other Materials:	
Formation Top Depth:	50
Formation End Depth:	98
Formation End Depth UOM:	ft

Overburden and Bedrock

Materials Interval

Formation ID:	931453727
Layer:	1
Color:	7
General Color:	RED
Mat1:	05
Most Common Material:	CLAY
Mat2:	
Other Materials:	
Mat3:	

Other Materials:

Formation Top Depth: 0
Formation End Depth: 18
Formation End Depth UOM: ft

Annular Space/Abandonment**Sealing Record**

Plug ID: 933140380
Layer: 1
Plug From: 0
Plug To: 51
Plug Depth UOM: ft

Method of Construction & Well Use

Method Construction ID: 2
Method Construction Code: Rotary (Convent.)
Method Construction: Rotary (Convent.)
Other Method Construction:

Pipe Information

Pipe ID: 10703799
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930264154
Layer: 1
Material: 1
Open Hole or Material: STEEL
Depth From:
Depth To: 51
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Construction Record - Casing

Casing ID: 930264155
Layer: 2
Material: 4
Open Hole or Material: OPEN HOLE
Depth From:
Depth To: 98
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Results of Well Yield Testing

Pump Test ID: 992808972
Pump Set At:
Static Level: 40
Final Level After Pumping: 44
Recommended Pump Depth: 46
Pumping Rate: 5
Flowing Rate:
Recommended Pump Rate: 5
Levels UOM: ft

Rate UOM: GPM
Water State After Test Code: 1
Water State After Test: CLEAR
Pumping Test Method: 1
Pumping Duration HR: 1
Pumping Duration MIN: 0
Flowing: N

Draw Down & Recovery

Pump Test Detail ID: 934977485
Test Type: Draw Down
Test Duration: 60
Test Level: 44
Test Level UOM: ft

Water Details

Water ID: 933613036
Layer: 2
Kind Code: 5
Kind: Not stated
Water Found Depth: 85
Water Found Depth UOM: ft

Water Details

Water ID: 933613035
Layer: 1
Kind Code: 5
Kind: Not stated
Water Found Depth: 78
Water Found Depth UOM: ft

Water Details

Water ID: 933613037
Layer: 3
Kind Code: 5
Kind: Not stated
Water Found Depth: 94
Water Found Depth UOM: ft

Site: lot 9 ON

Database: [WWIS](#)

Well ID:	2808956	Data Entry Status:	
Construction Date:		Data Src:	1
Primary Water Use:	Domestic	Date Received:	4/1/1999
Sec. Water Use:		Selected Flag:	Yes
Final Well Status:	Water Supply	Abandonment Rec:	
Water Type:		Contractor:	3406
Casing Material:		Form Version:	1
Audit No:	195961	Owner:	
Tag:		Street Name:	
Construction Method:		County:	HALTON
Elevation (m):		Municipality:	MILTON TOWN (NASSAGAWEYA)
Elevation Reliability:		Site Info:	
Depth to Bedrock:		Lot:	009
Well Depth:		Concession:	
Overburden/Bedrock:		Concession Name:	CON
Pump Rate:		Easting NAD83:	
Static Water Level:		Northing NAD83:	
Flowing (Y/N):		Zone:	
Flow Rate:		UTM Reliability:	

Clear/Cloudy:

Bore Hole Information

Bore Hole ID:	10155213	Elevation:	
DP2BR:	38	Elevrc:	
Spatial Status:		Zone:	17
Code OB:	r	East83:	
Code OB Desc:	Bedrock	North83:	
Open Hole:		Org CS:	
Cluster Kind:		UTMRC:	9
Date Completed:	9/22/1998	UTMRC Desc:	unknown UTM
Remarks:		Location Method:	na
Elevrc Desc:			
Location Source Date:			
Improvement Location Source:			
Improvement Location Method:			
Source Revision Comment:			
Supplier Comment:			

Overburden and Bedrock

Materials Interval

Formation ID:	931453666
Layer:	3
Color:	
General Color:	
Mat1:	15
Most Common Material:	LIMESTONE
Mat2:	
Other Materials:	
Mat3:	
Other Materials:	
Formation Top Depth:	41
Formation End Depth:	126
Formation End Depth UOM:	ft

Overburden and Bedrock

Materials Interval

Formation ID:	931453665
Layer:	2
Color:	2
General Color:	GREY
Mat1:	15
Most Common Material:	LIMESTONE
Mat2:	71
Other Materials:	FRACTURED
Mat3:	
Other Materials:	
Formation Top Depth:	38
Formation End Depth:	41
Formation End Depth UOM:	ft

Overburden and Bedrock

Materials Interval

Formation ID:	931453664
Layer:	1
Color:	7
General Color:	RED
Mat1:	05
Most Common Material:	CLAY
Mat2:	28
Other Materials:	SAND

Mat3:**Other Materials:**

Formation Top Depth:	0
Formation End Depth:	38
Formation End Depth UOM:	ft

Annular Space/Abandonment**Sealing Record**

Plug ID:	933140364
Layer:	1
Plug From:	0
Plug To:	42
Plug Depth UOM:	ft

Method of Construction & Well Use

Method Construction ID:	2
Method Construction Code:	
Method Construction:	Rotary (Convent.)
Other Method Construction:	

Pipe Information

Pipe ID:	10703783
Casing No:	1
Comment:	
Alt Name:	

Construction Record - Casing

Casing ID:	930264123
Layer:	2
Material:	4
Open Hole or Material:	OPEN HOLE
Depth From:	
Depth To:	126
Casing Diameter:	6
Casing Diameter UOM:	inch
Casing Depth UOM:	ft

Construction Record - Casing

Casing ID:	930264122
Layer:	1
Material:	1
Open Hole or Material:	STEEL
Depth From:	
Depth To:	42
Casing Diameter:	6
Casing Diameter UOM:	inch
Casing Depth UOM:	ft

Results of Well Yield Testing

Pump Test ID:	992808956
Pump Set At:	
Static Level:	9
Final Level After Pumping:	9
Recommended Pump Depth:	11
Pumping Rate:	5
Flowing Rate:	
Recommended Pump Rate:	5

Levels UOM: ft
Rate UOM: GPM
Water State After Test Code: 1
Water State After Test: CLEAR
Pumping Test Method: 1
Pumping Duration HR: 1
Pumping Duration MIN: 0
Flowing: N

Draw Down & Recovery

Pump Test Detail ID: 934977469
Test Type: Draw Down
Test Duration: 60
Test Level: 9
Test Level UOM: ft

Water Details

Water ID: 933612996
Layer: 1
Kind Code: 5
Kind: Not stated
Water Found Depth: 93
Water Found Depth UOM: ft

Water Details

Water ID: 933612997
Layer: 2
Kind Code: 5
Kind: Not stated
Water Found Depth: 122
Water Found Depth UOM: ft

Site: lot 10 ON

Database:
WWIS

Well ID:	2808959	Data Entry Status:	
Construction Date:		Data Src:	1
Primary Water Use:	Domestic	Date Received:	4/1/1999
Sec. Water Use:		Selected Flag:	Yes
Final Well Status:	Water Supply	Abandonment Rec:	
Water Type:		Contractor:	3406
Casing Material:		Form Version:	1
Audit No:	195950	Owner:	
Tag:		Street Name:	
Construction Method:		County:	HALTON
Elevation (m):		Municipality:	MILTON TOWN (NASSAGAWEYA)
Elevation Reliability:		Site Info:	
Depth to Bedrock:		Lot:	010
Well Depth:		Concession:	
Overburden/Bedrock:		Concession Name:	CON
Pump Rate:		Easting NAD83:	
Static Water Level:		Northing NAD83:	
Flowing (Y/N):		Zone:	
Flow Rate:		UTM Reliability:	
Clear/Cloudy:			

Bore Hole Information

Bore Hole ID:	10155216	Elevation:	
DP2BR:	42	Elevrc:	
Spatial Status:		Zone:	17
Code OB:	v	East83:	

Code OB Desc:	Overburden below Bedrock	North83:	
Open Hole:		Org CS:	
Cluster Kind:		UTMRC:	9
Date Completed:	8/30/1998	UTMRC Desc:	unknown UTM
Remarks:		Location Method:	na
Elevrc Desc:			
Location Source Date:			
Improvement Location Source:			
Improvement Location Method:			
Source Revision Comment:			
Supplier Comment:			

Overburden and Bedrock

Materials Interval

Formation ID:	931453674
Layer:	3
Color:	
General Color:	
Mat1:	15
Most Common Material:	LIMESTONE
Mat2:	
Other Materials:	
Mat3:	
Other Materials:	
Formation Top Depth:	42
Formation End Depth:	43
Formation End Depth UOM:	ft

Overburden and Bedrock

Materials Interval

Formation ID:	931453678
Layer:	7
Color:	
General Color:	
Mat1:	15
Most Common Material:	LIMESTONE
Mat2:	
Other Materials:	
Mat3:	
Other Materials:	
Formation Top Depth:	61
Formation End Depth:	124
Formation End Depth UOM:	ft

Overburden and Bedrock

Materials Interval

Formation ID:	931453676
Layer:	5
Color:	
General Color:	
Mat1:	15
Most Common Material:	LIMESTONE
Mat2:	
Other Materials:	
Mat3:	
Other Materials:	
Formation Top Depth:	54
Formation End Depth:	55
Formation End Depth UOM:	ft

Overburden and Bedrock

Materials Interval

Formation ID: 931453675
Layer: 4
Color: 2
General Color: GREY
Mat1: 05
Most Common Material: CLAY
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 43
Formation End Depth: 54
Formation End Depth UOM: ft

Overburden and Bedrock
Materials Interval

Formation ID: 931453677
Layer: 6
Color: 2
General Color: GREY
Mat1: 05
Most Common Material: CLAY
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 55
Formation End Depth: 61
Formation End Depth UOM: ft

Overburden and Bedrock
Materials Interval

Formation ID: 931453673
Layer: 2
Color: 2
General Color: GREY
Mat1: 05
Most Common Material: CLAY
Mat2: 11
Other Materials: GRAVEL
Mat3: 74
Other Materials: LAYERED
Formation Top Depth: 23
Formation End Depth: 42
Formation End Depth UOM: ft

Overburden and Bedrock
Materials Interval

Formation ID: 931453672
Layer: 1
Color: 7
General Color: RED
Mat1: 05
Most Common Material: CLAY
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 0
Formation End Depth: 23
Formation End Depth UOM: ft

Annular Space/Abandonment Sealing Record

Plug ID: 933140367
Layer: 1
Plug From: 0
Plug To: 62
Plug Depth UOM: ft

Method of Construction & Well Use

Method Construction ID: 2
Method Construction Code: 2
Method Construction: Rotary (Convent.)
Other Method Construction:

Pipe Information

Pipe ID: 10703786
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930264129
Layer: 2
Material: 4
Open Hole or Material: OPEN HOLE
Depth From:
Depth To: 124
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Construction Record - Casing

Casing ID: 930264128
Layer: 1
Material: 1
Open Hole or Material: STEEL
Depth From:
Depth To: 62
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Results of Well Yield Testing

Pump Test ID: 992808959
Pump Set At:
Static Level: 14
Final Level After Pumping: 15
Recommended Pump Depth: 52
Pumping Rate: 6
Flowing Rate:
Recommended Pump Rate: 6
Levels UOM: ft
Rate UOM: GPM
Water State After Test Code: 1
Water State After Test: CLEAR
Pumping Test Method: 1
Pumping Duration HR: 1

Pumping Duration MIN: 0
Flowing: N

Draw Down & Recovery

Pump Test Detail ID: 934977472
Test Type: Draw Down
Test Duration: 60
Test Level: 15
Test Level UOM: ft

Water Details

Water ID: 933613002
Layer: 1
Kind Code: 5
Kind: Not stated
Water Found Depth: 120
Water Found Depth UOM: ft

Site: lot 9 ON **Database:** [WWIS](#)

Well ID:	2808975	Data Entry Status:	
Construction Date:		Data Src:	1
Primary Water Use:	Domestic	Date Received:	4/1/1999
Sec. Water Use:		Selected Flag:	Yes
Final Well Status:	Water Supply	Abandonment Rec:	
Water Type:		Contractor:	3406
Casing Material:		Form Version:	1
Audit No:	195969	Owner:	
Tag:		Street Name:	
Construction Method:		County:	HALTON
Elevation (m):		Municipality:	MILTON TOWN (NASSAGAWEYA)
Elevation Reliability:		Site Info:	
Depth to Bedrock:		Lot:	009
Well Depth:		Concession:	
Overburden/Bedrock:		Concession Name:	CON
Pump Rate:		Easting NAD83:	
Static Water Level:		Northing NAD83:	
Flowing (Y/N):		Zone:	
Flow Rate:		UTM Reliability:	
Clear/Cloudy:			

Bore Hole Information

Bore Hole ID:	10155232	Elevation:	
DP2BR:	50	Elevrc:	
Spatial Status:		Zone:	17
Code OB:	r	East83:	
Code OB Desc:	Bedrock	North83:	
Open Hole:		Org CS:	
Cluster Kind:		UTMRC:	9
Date Completed:	8/19/1998	UTMRC Desc:	unknown UTM
Remarks:		Location Method:	na
Elevrc Desc:			
Location Source Date:			
Improvement Location Source:			
Improvement Location Method:			
Source Revision Comment:			
Supplier Comment:			

Overburden and Bedrock

Materials Interval

Formation ID: 931453737
Layer: 2
Color: 2
General Color: GREY
Mat1: 05
Most Common Material: CLAY
Mat2: 12
Other Materials: STONES
Mat3:
Other Materials:
Formation Top Depth: 47
Formation End Depth: 50
Formation End Depth UOM: ft

Overburden and Bedrock Materials Interval

Formation ID: 931453736
Layer: 1
Color: 7
General Color: RED
Mat1: 05
Most Common Material: CLAY
Mat2: 28
Other Materials: SAND
Mat3:
Other Materials:
Formation Top Depth: 0
Formation End Depth: 47
Formation End Depth UOM: ft

Overburden and Bedrock Materials Interval

Formation ID: 931453738
Layer: 3
Color:
General Color:
Mat1: 15
Most Common Material: LIMESTONE
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 50
Formation End Depth: 145
Formation End Depth UOM: ft

Annular Space/Abandonment Sealing Record

Plug ID: 933140383
Layer: 1
Plug From: 0
Plug To: 50
Plug Depth UOM: ft

Method of Construction & Well Use

Method Construction ID:
Method Construction Code: 2
Method Construction: Rotary (Convent.)
Other Method Construction:

Pipe Information

Pipe ID: 10703802
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930264161
Layer: 2
Material: 4
Open Hole or Material: OPEN HOLE
Depth From:
Depth To: 144
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Construction Record - Casing

Casing ID: 930264160
Layer: 1
Material: 1
Open Hole or Material: STEEL
Depth From:
Depth To: 50
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Results of Well Yield Testing

Pump Test ID: 992808975
Pump Set At:
Static Level: 44
Final Level After Pumping: 53
Recommended Pump Depth: 20
Pumping Rate: 3
Flowing Rate:
Recommended Pump Rate: 3
Levels UOM: ft
Rate UOM: GPM
Water State After Test Code: 1
Water State After Test: CLEAR
Pumping Test Method: 1
Pumping Duration HR: 1
Pumping Duration MIN:
Flowing: N

Draw Down & Recovery

Pump Test Detail ID: 934977488
Test Type: Draw Down
Test Duration: 60
Test Level: 53
Test Level UOM: ft

Water Details

Water ID: 933613046
Layer: 3
Kind Code: 5
Kind: Not stated
Water Found Depth: 135

Water Found Depth UOM: ft

Water Details

Water ID: 933613045
Layer: 2
Kind Code: 5
Kind: Not stated
Water Found Depth: 82
Water Found Depth UOM: ft

Water Details

Water ID: 933613044
Layer: 1
Kind Code: 5
Kind: Not stated
Water Found Depth: 55
Water Found Depth UOM: ft

Site:
lot 8 con 7 ON

Database:
WWIS

Well ID: 2809459
Construction Date:
Primary Water Use:
Sec. Water Use:
Final Well Status: Water Supply
Water Type:
Casing Material:
Audit No: 207042
Tag:
Construction Method:
Elevation (m):
Elevation Reliability:
Depth to Bedrock:
Well Depth:
Overburden/Bedrock:
Pump Rate:
Static Water Level:
Flowing (Y/N):
Flow Rate:
Clear/Cloudy:

Data Entry Status:
Data Src: 1
Date Received: 10/26/2001
Selected Flag: Yes
Abandonment Rec:
Contractor: 4868
Form Version: 1
Owner:
Street Name:
County: HALTON
Municipality: MILTON TOWN (TRAFalgar)
Site Info:
Lot: 008
Concession: 07
Concession Name: CON
Easting NAD83:
Northing NAD83:
Zone:
UTM Reliability:

Bore Hole Information

Bore Hole ID: 10518513
DP2BR:
Spatial Status:
Code OB: 0
Code OB Desc: Overburden
Open Hole:
Cluster Kind:
Date Completed: 10/2/2001
Remarks:
Elevrc Desc:
Location Source Date:
Improvement Location Source:
Improvement Location Method:
Source Revision Comment:
Supplier Comment:

Elevation:
Elevrc:
Zone: 17
East83:
North83:
Org CS:
UTMRC: 9
UTMRC Desc: unknown UTM
Location Method: na

Overburden and Bedrock

Materials Interval

Formation ID: 932838749
Layer: 4
Color: 2
General Color: GREY
Mat1: 05
Most Common Material: CLAY
Mat2: 12
Other Materials: STONES
Mat3: 28
Other Materials: SAND
Formation Top Depth: 9
Formation End Depth: 21
Formation End Depth UOM: ft

Overburden and Bedrock

Materials Interval

Formation ID: 932838746
Layer: 1
Color: 6
General Color: BROWN
Mat1: 02
Most Common Material: TOPSOIL
Mat2: 85
Other Materials: SOFT
Mat3:
Other Materials:
Formation Top Depth: 0
Formation End Depth: 3
Formation End Depth UOM: ft

Overburden and Bedrock

Materials Interval

Formation ID: 932838747
Layer: 2
Color: 6
General Color: BROWN
Mat1: 05
Most Common Material: CLAY
Mat2: 13
Other Materials: BOULDERS
Mat3: 73
Other Materials: HARD
Formation Top Depth: 3
Formation End Depth: 8
Formation End Depth UOM: ft

Overburden and Bedrock

Materials Interval

Formation ID: 932838750
Layer: 5
Color: 2
General Color: GREY
Mat1: 11
Most Common Material: GRAVEL
Mat2: 28
Other Materials: SAND
Mat3: 77
Other Materials: LOOSE
Formation Top Depth: 21
Formation End Depth: 26
Formation End Depth UOM: ft

Overburden and Bedrock

Materials Interval

Formation ID: 932838748
Layer: 3
Color: 6
General Color: BROWN
Mat1: 11
Most Common Material: GRAVEL
Mat2:
Other Materials:
Mat3:
Other Materials:
Formation Top Depth: 8
Formation End Depth: 9
Formation End Depth UOM: ft

Annular Space/Abandonment

Sealing Record

Plug ID: 933221235
Layer: 1
Plug From: 0
Plug To: 10
Plug Depth UOM: ft

Method of Construction & Well

Use

Method Construction ID:
Method Construction Code: 6
Method Construction: Boring
Other Method Construction:

Pipe Information

Pipe ID: 11067083
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930264838
Layer: 2
Material: 2
Open Hole or Material: GALVANIZED
Depth From:
Depth To:
Casing Diameter: 48
Casing Diameter UOM: inch
Casing Depth UOM: ft

Construction Record - Casing

Casing ID: 930264837
Layer: 1
Material: 3
Open Hole or Material: CONCRETE
Depth From:
Depth To:
Casing Diameter: 48
Casing Diameter UOM: inch
Casing Depth UOM: ft

Construction Record - Casing

Casing ID:	930264839
Layer:	3
Material:	2
Open Hole or Material:	GALVANIZED
Depth From:	
Depth To:	
Casing Diameter:	36
Casing Diameter UOM:	inch
Casing Depth UOM:	ft

Results of Well Yield Testing

Pump Test ID:	992809459
Pump Set At:	
Static Level:	9
Final Level After Pumping:	15
Recommended Pump Depth:	18
Pumping Rate:	5
Flowing Rate:	
Recommended Pump Rate:	7
Levels UOM:	ft
Rate UOM:	GPM
Water State After Test Code:	1
Water State After Test:	CLEAR
Pumping Test Method:	1
Pumping Duration HR:	24
Pumping Duration MIN:	
Flowing:	N

Draw Down & Recovery

Pump Test Detail ID:	934175793
Test Type:	Recovery
Test Duration:	15
Test Level:	15
Test Level UOM:	ft

Draw Down & Recovery

Pump Test Detail ID:	934458185
Test Type:	Recovery
Test Duration:	30
Test Level:	14
Test Level UOM:	ft

Draw Down & Recovery

Pump Test Detail ID:	934716684
Test Type:	Recovery
Test Duration:	45
Test Level:	14
Test Level UOM:	ft

Draw Down & Recovery

Pump Test Detail ID:	934978044
Test Type:	Recovery
Test Duration:	60
Test Level:	13
Test Level UOM:	ft

Water Details

Water ID: 934010593
Layer: 1
Kind Code: 1
Kind: FRESH
Water Found Depth: 21
Water Found Depth UOM: ft

Site:
con 7 ON

Database:
WWIS

Well ID: 2809710
Construction Date: 1
Primary Water Use: Domestic
Sec. Water Use:
Final Well Status: Water Supply
Water Type:
Casing Material:
Audit No: 207098
Tag:
Construction Method:
Elevation (m):
Elevation Reliability:
Depth to Bedrock:
Well Depth:
Overburden/Bedrock:
Pump Rate:
Static Water Level:
Flowing (Y/N):
Flow Rate:
Clear/Cloudy:

Data Entry Status:
Data Src: 1
Date Received: 3/17/2003
Selected Flag: Yes
Abandonment Rec:
Contractor: 4868
Form Version: 1
Owner:
Street Name:
County: HALTON
Municipality: MILTON TOWN (TRAFalgar)
Site Info:
Lot:
Concession: 07
Concession Name: NS
Easting NAD83:
Northing NAD83:
Zone:
UTM Reliability:

Bore Hole Information

Bore Hole ID: 10538801
DP2BR: 45
Spatial Status:
Code OB: r
Code OB Desc: Bedrock
Open Hole:
Cluster Kind:
Date Completed: 2/20/2003
Remarks:
Elevrc Desc:
Location Source Date:
Improvement Location Source:
Improvement Location Method:
Source Revision Comment:
Supplier Comment:

Elevation:
Elevrc:
Zone: 17
East83:
North83:
Org CS:
UTMRC: 9
UTMRC Desc: unknown UTM
Location Method: na

Overburden and Bedrock

Materials Interval

Formation ID: 932909882
Layer: 2
Color: 7
General Color: RED
Mat1: 05
Most Common Material: CLAY
Mat2: 12
Other Materials: STONES
Mat3: 73
Other Materials: HARD
Formation Top Depth: 41
Formation End Depth: 45

Formation End Depth UOM: ft

Overburden and Bedrock
Materials Interval

Formation ID: 932909881
Layer: 1
Color: 6
General Color: BROWN
Mat1: 05
Most Common Material: CLAY
Mat2: 12
Other Materials: STONES
Mat3:
Other Materials:
Formation Top Depth: 0
Formation End Depth: 41
Formation End Depth UOM: ft

Overburden and Bedrock
Materials Interval

Formation ID: 932909883
Layer: 3
Color: 7
General Color: RED
Mat1: 17
Most Common Material: SHALE
Mat2: 15
Other Materials: LIMESTONE
Mat3: 73
Other Materials: HARD
Formation Top Depth: 45
Formation End Depth: 138
Formation End Depth UOM: ft

Annular Space/Abandonment
Sealing Record

Plug ID: 933237204
Layer: 1
Plug From: 0
Plug To: 52
Plug Depth UOM: ft

Method of Construction & Well
Use

Method Construction ID:
Method Construction Code: 1
Method Construction: Cable Tool
Other Method Construction:

Pipe Information

Pipe ID: 11087371
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930265084
Layer: 1

Material: 1
Open Hole or Material: STEEL
Depth From:
Depth To: 52
Casing Diameter: 8
Casing Diameter UOM: inch
Casing Depth: ft

Construction Record - Casing

Casing ID: 930265085
Layer: 2
Material: 4
Open Hole or Material: OPEN HOLE
Depth From:
Depth To: 138
Casing Diameter: 8
Casing Diameter UOM: inch
Casing Depth UOM: ft

Results of Well Yield Testing

Pump Test ID: 992809710
Pump Set At:
Static Level: 48
Final Level After Pumping: 75
Recommended Pump Depth: 120
Pumping Rate: 5
Flowing Rate:
Recommended Pump Rate: 4
Levels UOM: ft
Rate UOM: GPM
Water State After Test Code: 1
Water State After Test: CLEAR
Pumping Test Method: 2
Pumping Duration HR: 1
Pumping Duration MIN: 0
Flowing: N

Draw Down & Recovery

Pump Test Detail ID: 934978554
Test Type: Draw Down
Test Duration: 60
Test Level: 48
Test Level UOM: ft

Water Details

Water ID: 934032504
Layer: 1
Kind Code: 1
Kind: FRESH
Water Found Depth: 68
Water Found Depth UOM: ft

Water Details

Water ID: 934032506
Layer: 3
Kind Code: 1
Kind: FRESH
Water Found Depth: 135
Water Found Depth UOM: ft

Water Details

Water ID: 934032505
Layer: 2
Kind Code: 1
Kind: FRESH
Water Found Depth: 110
Water Found Depth UOM: ft

Appendix: Database Descriptions

*Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. Note: Databases denoted with " * " indicates that the database will no longer be updated. See the individual database description for more information.*

Abandoned Aggregate Inventory:

Provincial **AAGR**

The MAAP Program maintains a database of abandoned pits and quarries. Please note that the database is only referenced by lot and concession and city/town location. The database provides information regarding the location, type, size, land use, status and general comments.*

Government Publication Date: Sept 2002*

Aggregate Inventory:

Provincial **AGR**

The Ontario Ministry of Natural Resources maintains a database of all active pits and quarries. The database provides information regarding the registered owner/operator, location name, operation type, approval type, and maximum annual tonnage.

Government Publication Date: Up to Sep 2019

Abandoned Mine Information System:

Provincial **AMIS**

The Abandoned Mines Information System contains data on known abandoned and inactive mines located on both Crown and privately held lands. The information was provided by the Ministry of Northern Development and Mines (MNDM), with the following disclaimer: "the database provided has been compiled from various sources, and the Ministry of Northern Development and Mines makes no representation and takes no responsibility that such information is accurate, current or complete". Reported information includes official mine name, status, background information, mine start/end date, primary commodity, mine features, hazards and remediation.

Government Publication Date: 1800-Oct 2018

Anderson's Waste Disposal Sites:

Private **ANDR**

The information provided in this database was collected by examining various historical documents which aimed to characterize the likely position of former waste disposal sites from 1860 to present. The research initiative behind the creation of this database was to identify those sites that are missing from the Ontario MOE Waste Disposal Site Inventory, as well as to provide revisions and corrections to the positions and descriptions of sites currently listed in the MOE inventory. In addition to historic waste disposal facilities, the database also identifies certain auto wreckers and scrap yards that have been extrapolated from documentary sources. Please note that the data is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.

Government Publication Date: 1860s-Present

Aboveground Storage Tanks:

Provincial **AST**

Historical listing of aboveground storage tanks made available by the Department of Natural Resources and Forestry. Includes tanks used to hold water or petroleum. This dataset has been retired as of September 25, 2014 and will no longer be updated.

Government Publication Date: May 31, 2014

Automobile Wrecking & Supplies:

Private **AUWR**

This database provides an inventory of known locations that are involved in the scrap metal, automobile wrecking/recycling, and automobile parts & supplies industry. Information is provided on the company name, location and business type.

Government Publication Date: 1999-Jul 31, 2019

Borehole:

Provincial **BORE**

A borehole is the generalized term for any narrow shaft drilled in the ground, either vertically or horizontally. The information here includes geotechnical investigations or environmental site assessments, mineral exploration, or as a pilot hole for installing piers or underground utilities. Information is from many sources such as the Ministry of Transportation (MTO) boreholes from engineering reports and projects from the 1950 to 1990's in Southern Ontario. Boreholes from the Ontario Geological Survey (OGS) including The Urban Geology Analysis Information System (UGAIS) and the York Peel Durham Toronto (YPDT) database of the Conservation Authority Moraine Coalition. This database will include fields such as location, stratigraphy, depth, elevation, year drilled, etc. For all water well data or oil and gas well data for Ontario please refer to WWIS and OOGW.

Government Publication Date: 1875-Jul 2018

Certificates of Approval:

Provincial

CA

This database contains the following types of approvals: Air & Noise, Industrial Sewage, Municipal & Private Sewage, Waste Management Systems and Renewable Energy Approvals. The MOE in Ontario states that any facility that releases emissions to the atmosphere, discharges contaminants to ground or surface water, provides potable water supplies, or stores, transports or disposes of waste, must have a Certificate of Approval before it can operate lawfully. Fields include approval number, business name, address, approval date, approval type and status. This database will no longer be updated, as CofA's have been replaced by either Environmental Activity and Sector Registry (EASR) or Environmental Compliance Approval (ECA). Please refer to those individual databases for any information after Oct.31, 2011.

Government Publication Date: 1985-Oct 30, 2011*

Dry Cleaning Facilities:

Federal

CDRY

List of dry cleaning facilities made available by Environment and Climate Change Canada. Environment and Climate Change Canada's Tetrachloroethylene (Use in Dry Cleaning and Reporting Requirements) Regulations (SOR/2003-79) are intended to reduce releases of tetrachloroethylene to the environment from dry cleaning facilities.

Government Publication Date: Jan 2004-Dec 2017

Commercial Fuel Oil Tanks:

Provincial

CFOT

Locations of commercial underground fuel oil tanks. This is not a comprehensive or complete inventory of commercial fuel tanks in the province; this listing is a copy of records of registered commercial underground fuel oil tanks obtained under Access to Public Information.

Note that the following types of tanks do not require registration: waste oil tanks in apartments, office buildings, residences, etc.; aboveground gas or diesel tanks. Records are not verified for accuracy or completeness.

Government Publication Date: Feb 28, 2017

Chemical Register:

Private

CHEM

This database includes information from both a one time study conducted in 1992 and private source and is a listing of facilities that manufacture or distribute chemicals. The production of these chemical substances may involve one or more chemical reactions and/or chemical separation processes (i.e. fractionation, solvent extraction, crystallization, etc.).

Government Publication Date: 1999-Jul 31, 2019

Compressed Natural Gas Stations:

Private

CNG

Canada has a network of public access compressed natural gas (CNG) refuelling stations. These stations dispense natural gas in compressed form at 3,000 pounds per square inch (psi), the pressure which is allowed within the current Canadian codes and standards. The majority of natural gas refuelling is located at existing retail gasoline that have a separate refuelling island for natural gas. This list of stations is made available by the Canadian Natural Gas Vehicle Alliance.

Government Publication Date: Dec 2012 - Nov 2019

Inventory of Coal Gasification Plants and Coal Tar Sites:

Provincial

COAL

This inventory includes both the "Inventory of Coal Gasification Plant Waste Sites in Ontario-April 1987" and the Inventory of Industrial Sites Producing or Using Coal Tar and Related Tars in Ontario-November 1988) collected by the MOE. It identifies industrial sites that produced and continue to produce or use coal tar and other related tars. Detailed information is available and includes: facility type, size, land use, information on adjoining properties, soil condition, site operators/occupants, site description, potential environmental impacts and historic maps available. This was a one-time inventory.*

Government Publication Date: Apr 1987 and Nov 1988*

Compliance and Convictions:

Provincial

CONV

This database summarizes the fines and convictions handed down by the Ontario courts beginning in 1989. Companies and individuals named here have been found guilty of environmental offenses in Ontario courts of law.

Government Publication Date: 1989-Sep 2019

Certificates of Property Use:

Provincial

CPU

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all CPU's on the registry such as (EPA s. 168.6) - Certificate of Property Use.

Government Publication Date: 1994-Nov 30, 2019

Drill Hole Database:

Provincial

DRL

The Ontario Drill Hole Database contains information on more than 113,000 percussion, overburden, sonic and diamond drill holes from assessment files on record with the department of Mines and Minerals. Please note that limited data is available for southern Ontario, as it was the last area to be completed. The database was created when surveys submitted to the Ministry were converted in the Assessment File Research Image Database (AFRI) project. However, the degree of accuracy (coordinates) as to the exact location of drill holes is dependent upon the source document submitted to the MNDM. Levels of accuracy used to locate holes are: centering on the mining claim; a sketch of the mining claim; a 1:50,000 map; a detailed company map; or from submitted a "Report of Work".

Government Publication Date: 1886 - Sep 2019

Environmental Activity and Sector Registry:

Provincial

EASR

On October 31, 2011, a smarter, faster environmental approvals system came into effect in Ontario. The EASR allows businesses to register certain activities with the ministry, rather than apply for an approval. The registry is available for common systems and processes, to which preset rules of operation can be applied. The EASR is currently available for: heating systems, standby power systems and automotive refinishing. Businesses whose activities aren't subject to the EASR may apply for an ECA (Environmental Compliance Approval). Please see our ECA database.

Government Publication Date: Oct 2011-Nov 30, 2019

Environmental Registry:

Provincial

EBR

The Environmental Registry lists proposals, decisions and exceptions regarding policies, Acts, instruments, or regulations that could significantly affect the environment. Through the Registry, thirteen provincial ministries notify the public of upcoming proposals and invite their comments. For example, if a local business is requesting a permit, license, or certificate of approval to release substances into the air or water; these are notified on the registry. Data includes: Approval for discharge into the natural environment other than water (i.e. Air) - EPA s. 9, Approval for sewage works - OWRA s. 53(1), and EPA s. 27 - Approval for a waste disposal site. For information regarding Permit to Take Water (PTTW), Certificate of Property Use (CPU) and (ORD) Orders please refer to those individual databases.

Government Publication Date: 1994-Nov 30, 2019

Environmental Compliance Approval:

Provincial

ECA

On October 31, 2011, a smarter, faster environmental approvals system came into effect in Ontario. In the past, a business had to apply for multiple approvals (known as certificates of approval) for individual processes and pieces of equipment. Today, a business either registers itself, or applies for a single approval, depending on the types of activities it conducts. Businesses whose activities aren't subject to the EASR may apply for an ECA. A single ECA addresses all of a business's emissions, discharges and wastes. Separate approvals for air, noise and waste are no longer required. This database will also include Renewable Energy Approvals. For certificates of approval prior to Nov 1st, 2011, please refer to the CA database. For all Waste Disposal Sites please refer to the WDS database.

Government Publication Date: Oct 2011-Nov 30, 2019

Environmental Effects Monitoring:

Federal

EEM

The Environmental Effects Monitoring program assesses the effects of effluent from industrial or other sources on fish, fish habitat and human usage of fisheries resources. Since 1992, pulp and paper mills have been required to conduct EEM studies under the Pulp and Paper Effluent Regulations. This database provides information on the mill name, geographical location and sub-lethal toxicity data.

*Government Publication Date: 1992-2007**

ERIS Historical Searches:

Private

EHS

ERIS has compiled a database of all environmental risk reports completed since March 1999. Available fields for this database include: site location, date of report, type of report, and search radius. As per all other databases, the ERIS database can be referenced on both the map and "Statistical Profile" page.

Government Publication Date: 1999-Oct 31, 2019

Environmental Issues Inventory System:

Federal

EIS

The Environmental Issues Inventory System was developed through the implementation of the Environmental Issues and Remediation Plan. This plan was established to determine the location and severity of contaminated sites on inhabited First Nation reserves, and where necessary, to remediate those that posed a risk to health and safety; and to prevent future environmental problems. The EIS provides information on the reserve under investigation, inventory number, name of site, environmental issue, site action (Remediation, Site Assessment), and date investigation completed.

*Government Publication Date: 1992-2001**

Emergency Management Historical Event:

Provincial

EMHE

List of locations of historical occurrences of emergency events, including those assigned to the Ministry of Natural Resources by Order-In-Council (OIC) under the Emergency Management and Civil Protection Act, as well as events where MNR provided requested emergency response assistance. Many of these events will have involved community evacuations, significant structural loss, and/or involvement of MNR emergency response staff. These events fall into one of ten (10) type categories: Dam Failure; Drought / Low Water; Erosion; Flood; Forest Fire; Soil and Bedrock Instability; Petroleum Resource Center Event, EMO Requested Assistance, Continuity of Operations Event, Other Requested Assistance. EMHE record details are reproduced by ERIS under License with the Ontario Ministry of Natural Resources © Queen's Printer for Ontario, 2017.

Government Publication Date: Dec 31, 2016

Environmental Penalty Annual Report:

Provincial

EPAR

This database contains data from Ontario's annual environmental penalty report published by the Ministry of the Environment and Climate Change. These reports provide information on environmental penalties for land or water violations issued to companies in one of the nine industrial sectors covered by the Municipal Industrial Strategy for Abatement (MISA) regulations.

Government Publication Date: Jan 1, 2011 - Dec 31, 2018

List of Expired Fuels Safety Facilities:

Provincial

EXP

List of facilities and tanks for which there was once a fuel registration. This is not a comprehensive or complete inventory of expired tanks/tank facilities in the province; this listing is a copy of previously registered tanks and facilities obtained under Access to Public Information. Includes private fuel outlets, bulk plants, fuel oil tanks, gasoline stations, marinas, propane filling stations, liquid fuel tanks, piping systems, etc; includes tanks which have been removed from the ground.

Notes: registration was not required for private fuel underground/aboveground storage tanks prior to January 1990, nor for furnace oil tanks prior to May 1, 2002; registration is not required for waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness.

Government Publication Date: Feb 28, 2017

Federal Convictions:

Federal

FCON

Environment Canada maintains a database referred to as the "Environmental Registry" that details prosecutions under the Canadian Environmental Protection Act (CEPA) and the Fisheries Act (FA). Information is provided on the company name, location, charge date, offence and penalty.

Government Publication Date: 1988-Jun 2007*

Contaminated Sites on Federal Land:

Federal

FCS

The Federal Contaminated Sites Inventory includes information on known federal contaminated sites under the custodianship of departments, agencies and consolidated Crown corporations as well as those that are being or have been investigated to determine whether they have contamination arising from past use that could pose a risk to human health or the environment. The inventory also includes non-federal contaminated sites for which the Government of Canada has accepted some or all financial responsibility. It does not include sites where contamination has been caused by, and which are under the control of, enterprise Crown corporations, private individuals, firms or other levels of government.

Government Publication Date: Jun 2000-Aug 2019

Federal Identification Registry for Storage Tank Systems (FIRSTS):

Federal

FED TANKS

A list of federally regulated Storage tanks from the Federal Identification Registry for Storage Tank Systems (FIRSTS). FIRSTS is Environment and Climate Change Canada's database of storage tank systems subject to the Storage Tank for Petroleum Products and Allied Petroleum Products Regulations. The main objective of the Regulations is to prevent soil and groundwater contamination from storage tank systems located on federal and aboriginal lands. Storage tank systems that do not have a valid identification number displayed in a readily visible location on or near the storage tank system may be refused product delivery.

Government Publication Date: May 31, 2018

Fisheries & Oceans Fuel Tanks:

Federal

FOFT

Fisheries & Oceans Canada maintains an inventory of aboveground & underground fuel storage tanks located on Fisheries & Oceans property or controlled by DFO. Our inventory provides information on the site name, location, tank owner, tank operator, facility type, storage tank location, tank contents & capacity, and date of tank installation.

Government Publication Date: 1964-Sep 2018

Fuel Storage Tank:

Provincial

FST

List of registered private and retail fuel storage tanks. This is not a comprehensive or complete inventory of private and retail fuel storage tanks in the province; this listing is a copy of registered private and retail fuel storage tanks, obtained under Access to Public Information.

Notes: registration was not required for private fuel underground/aboveground storage tanks prior to January 1990, nor for furnace oil tanks prior to May 1, 2002; registration is not required for waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness.

Government Publication Date: Feb 28, 2017

Fuel Storage Tank - Historic:

Provincial

FSTH

The Fuels Safety Branch of the Ontario Ministry of Consumer and Commercial Relations maintained a database of all registered private fuel storage tanks. Public records of private fuel storage tanks are only available since the registration became effective in September 1989. This information is now collected by the Technical Standards and Safety Authority.

Government Publication Date: Pre-Jan 2010*

Ontario Regulation 347 Waste Generators Summary:

Provincial

GEN

Regulation 347 of the Ontario EPA defines a waste generation site as any site, equipment and/or operation involved in the production, collection, handling and/or storage of regulated wastes. A generator of regulated waste is required to register the waste generation site and each waste produced, collected, handled, or stored at the site. This database contains the registration number, company name and address of registered generators including the types of hazardous wastes generated. It includes data on waste generating facilities such as: drycleaners, waste treatment and disposal facilities, machine shops, electric power distribution etc. This information is a summary of all years from 1986 including the most currently available data. Some records may contain, within the company name, the phrase "See & Use..." followed by a series of letters and numbers. This occurs when one company is amalgamated with or taken over by another registered company. The number listed as "See & Use", refers to the new ownership and the other identification number refers to the original ownership. This phrase serves as a link between the 2 companies until operations have been fully transferred.

Government Publication Date: 1986-Oct 31, 2019

Greenhouse Gas Emissions from Large Facilities:

Federal

GHG

List of greenhouse gas emissions from large facilities made available by Environment Canada. Greenhouse gas emissions in kilotonnes of carbon dioxide equivalents (kt CO₂ eq).

Government Publication Date: 2013-Dec 2017

TSSA Historic Incidents:

Provincial

HINC

List of historic incidences of spills and leaks of diesel, fuel oil, gasoline, natural gas, propane, and hydrogen recorded by the TSSA in their previous incident tracking system. The TSSA's Fuels Safety Program administers the Technical Standards & Safety Act 2000, providing fuel-related safety services associated with the safe transportation, storage, handling and use of fuels such as gasoline, diesel, propane, natural gas and hydrogen. Under this Act, the TSSA regulates fuel suppliers, storage facilities, transport trucks, pipelines, contractors and equipment or appliances that use fuels. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of historical fuel spills and leaks in the province. This listing is a copy of the data captured at one moment in time and is hence limited by the record date provided here.

Government Publication Date: 2006-June 2009*

Indian & Northern Affairs Fuel Tanks:

Federal

IAFT

The Department of Indian & Northern Affairs Canada (INAC) maintains an inventory of aboveground & underground fuel storage tanks located on both federal and crown land. Our inventory provides information on the reserve name, location, facility type, site/facility name, tank type, material & ID number, tank contents & capacity, and date of tank installation.

Government Publication Date: 1950-Aug 2003*

Fuel Oil Spills and Leaks:

Provincial

INC

Listing of spills and leaks of diesel, fuel oil, gasoline, natural gas, propane, and hydrogen reported to the Spills Action Centre (SAC). This is not a comprehensive or complete inventory of fuel-related leaks, spills, and incidents in the province; this listing is a copy of incidents reported to the SAC, obtained under Access to Public Information. Includes incidents from fuel-related hazards such as spills, fires, and explosions. Records are not verified for accuracy or completeness.

Government Publication Date: Feb 28, 2017

Landfill Inventory Management Ontario:

Provincial

LIMO

The Landfill Inventory Management Ontario (LIMO) database is updated every year, as the ministry compiles new and updated information. The inventory will include small and large landfills. Additionally, each year the ministry will request operators of the larger landfills complete a landfill data collection form that will be used to update LIMO and will include the following information from the previous operating year. This will include additional information such as estimated amount of total waste received, landfill capacity, estimated total remaining landfill capacity, fill rates, engineering designs, reporting and monitoring details, size of location, service area, approved waste types, leachate of site treatment, contaminant attenuation zone and more. The small landfills will include information such as site owner, site location and certificate of approval # and status.

Government Publication Date: Feb 28, 2019

Canadian Mine Locations:

Private

MINE

This information is collected from the Canadian & American Mines Handbook. The Mines database is a national database that provides over 290 listings on mines (listed as public companies) dealing primarily with precious metals and hard rocks. Listed are mines that are currently in operation, closed, suspended, or are still being developed (advanced projects). Their locations are provided as geographic coordinates (x, y and/or longitude, latitude). As of 2002, data pertaining to Canadian smelters and refineries has been appended to this database.

Government Publication Date: 1998-2009*

Mineral Occurrences:

Provincial

MNR

In the early 70's, the Ministry of Northern Development and Mines created an inventory of approximately 19,000 mineral occurrences in Ontario, in regard to metallic and industrial minerals, as well as some information on building stones and aggregate deposits. Please note that the "Horizontal Positional Accuracy" is approximately +/- 200 m. Many reference elements for each record were derived from field sketches using pace or chain/tape measurements against claim posts or topographic features in the area. The primary limiting factor for the level of positional accuracy is the scale of the source material. The testing of horizontal accuracy of the source materials was accomplished by comparing the plan metric (X and Y) coordinates of that point with the coordinates of the same point as defined from a source of higher accuracy.

Government Publication Date: 1846-Jan 2019

National Analysis of Trends in Emergencies System (NATES):

Federal

NATE

In 1974 Environment Canada established the National Analysis of Trends in Emergencies System (NATES) database, for the voluntary reporting of significant spill incidents. The data was to be used to assist in directing the work of the emergencies program. NATES ran from 1974 to 1994. Extensive information is available within this database including company names, place where the spill occurred, date of spill, cause, reason and source of spill, damage incurred, and amount, concentration, and volume of materials released.

Government Publication Date: 1974-1994*

Non-Compliance Reports:

Provincial

NPCL

The Ministry of the Environment provides information about non-compliant discharges of contaminants to air and water that exceed legal allowable limits, from regulated industrial and municipal facilities. A reported non-compliance failure may be in regard to a Control Order, Certificate of Approval, Sectoral Regulation or specific regulation/act.

Government Publication Date: Dec 31, 2017**National Defense & Canadian Forces Fuel Tanks:**

Federal

NDFT

The Department of National Defense and the Canadian Forces maintains an inventory of all aboveground & underground fuel storage tanks located on DND lands. Our inventory provides information on the base name, location, tank type & capacity, tank contents, tank class, date of tank installation, date tank last used, and status of tank as of May 2001. This database will no longer be updated due to the new National Security protocols which have prohibited any release of this database.

Government Publication Date: Up to May 2001***National Defense & Canadian Forces Spills:**

Federal

NDSP

The Department of National Defense and the Canadian Forces maintains an inventory of spills to land and water. All spill sites have been classified under the "Transportation of Dangerous Goods Act - 1992". Our inventory provides information on the facility name, location, spill ID #, spill date, type of spill, as well as the quantity of substance spilled & recovered.

Government Publication Date: Mar 1999-Apr 2018**National Defence & Canadian Forces Waste Disposal Sites:**

Federal

NDWD

The Department of National Defence and the Canadian Forces maintains an inventory of waste disposal sites located on DND lands. Where available, our inventory provides information on the base name, location, type of waste received, area of site, depth of site, year site opened/closed and status.

Government Publication Date: 2001-Apr 2007***National Energy Board Pipeline Incidents:**

Federal

NEBI

Locations of pipeline incidents from 2008 to present, made available by the Canada Energy Regulator (CER) - previously the National Energy Board (NEB). Includes incidents reported under the Onshore Pipeline Regulations and the Processing Plant Regulations related to pipelines under federal jurisdiction, does not include incident data related to pipelines under provincial or territorial jurisdiction.

Government Publication Date: 2008-Jun 30, 2019**National Energy Board Wells:**

Federal

NEBP

The NEBW database contains information on onshore & offshore oil and gas wells that are outside provincial jurisdiction(s) and are thereby regulated by the National Energy Board. Data is provided regarding the operator, well name, well ID No./UWI, status, classification, well depth, spud and release date.

Government Publication Date: 1920-Feb 2003***National Environmental Emergencies System (NEES):**

Federal

NEES

In 2000, the Emergencies program implemented NEES, a reporting system for spills of hazardous substances. For the most part, this system only captured data from the Atlantic Provinces, some from Quebec and Ontario and a portion from British Columbia. Data for Alberta, Saskatchewan, Manitoba and the Territories was not captured. However, NEES is also a repository for previous Environment Canada spill datasets. NEES is composed of the historic datasets ' or Trends ' which dates from approximately 1974 to present. NEES Trends is a compilation of historic databases, which were merged and includes data from NATES (National Analysis of Trends in Emergencies System), ARTS (Atlantic Regional Trends System), and NEES. In 2001, the Emergencies Program determined that variations in reporting regimes and requirements between federal and provincial agencies made national spill reporting and trend analysis difficult to achieve. As a consequence, the department has focused efforts on capturing data on spills of substances which fall under its legislative authority only (CEPA and FA). As such, the NEES database will be decommissioned in December 2004.

Government Publication Date: 1974-2003***National PCB Inventory:**

Federal

NPCB

Environment Canada's National PCB inventory includes information on in-use PCB containing equipment in Canada including federal, provincial and private facilities. Federal out-of-service PCB containing equipment and PCB waste owned by the federal government or by federally regulated industries such as airlines, railway companies, broadcasting companies, telephone and telecommunications companies, pipeline companies, etc. are also listed. Although it is not Environment Canada's mandate to collect data on non-federal PCB waste, the National PCB inventory includes some information on provincial and private PCB waste and storage sites. Some addresses provided may be Head Office addresses and are not necessarily the location of where the waste is being used or stored.

Government Publication Date: 1988-2008***National Pollutant Release Inventory:**

Federal

NPRI

Environment Canada has defined the National Pollutant Release Inventory ("NPRI") as a federal government initiative designed to collect comprehensive national data regarding releases to air, water, or land, and waste transfers for recycling for more than 300 listed substances.

Government Publication Date: 1993-May 2017

Oil and Gas Wells:

Private

OGWE

The Nickle's Energy Group (publisher of the Daily Oil Bulletin) collects information on drilling activity including operator and well statistics. The well information database includes name, location, class, status and depth. The main Nickle's database is updated on a daily basis, however, this database is updated on a monthly basis. More information is available at www.nickles.com.

Government Publication Date: 1988-Aug 31, 2019

Ontario Oil and Gas Wells:

Provincial

OOGW

In 1998, the MNR handed over to the Ontario Oil, Gas and Salt Resources Corporation, the responsibility of maintaining a database of oil and gas wells drilled in Ontario. The OGSR Library has over 20,000+ wells in their database. Information available for all wells in the ERIS database include well owner/operator, location, permit issue date, and well cap date, license No., status, depth and the primary target (rock unit) of the well being drilled. All geology/stratigraphy table information, plus all water table information is also provided for each well record.

Government Publication Date: 1800-Jun 2019

Inventory of PCB Storage Sites:

Provincial

OPCB

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of PCB storage sites within the province. Ontario Regulation 11/82 (Waste Management - PCB) and Regulation 347 (Generator Waste Management) under the Ontario EPA requires the registration of inactive PCB storage equipment and/or disposal sites of PCB waste with the Ontario Ministry of Environment. This database contains information on: 1) waste quantities; 2) major and minor sites storing liquid or solid waste; and 3) a waste storage inventory.

Government Publication Date: 1987-Oct 2004; 2012-Dec 2013

Orders:

Provincial

ORD

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all Orders on the registry such as (EPA s. 17) - Order for remedial work, (EPA s. 18) - Order for preventative measures, (EPA s. 43) - Order for removal of waste and restoration of site, (EPA s. 44) - Order for conformity with Act for waste disposal sites, (EPA s. 136) - Order for performance of environmental measures.

Government Publication Date: 1994-Nov 30, 2019

Canadian Pulp and Paper:

Private

PAP

This information is part of the Pulp and Paper Canada Directory. The Directory provides a comprehensive listing of the locations of pulp and paper mills and the products that they produce.

Government Publication Date: 1999, 2002, 2004, 2005, 2009-2014

Parks Canada Fuel Storage Tanks:

Federal

PCFT

Canadian Heritage maintains an inventory of known fuel storage tanks operated by Parks Canada, in both National Parks and at National Historic Sites. The database details information on site name, location, tank install/removal date, capacity, fuel type, facility type, tank design and owner/operator.

*Government Publication Date: 1920-Jan 2005**

Pesticide Register:

Provincial

PES

The Ontario Ministry of the Environment and Climate Change maintains a database of licensed operators and vendors of registered pesticides.

Government Publication Date: 1988-Nov 2019

Pipeline Incidents:

Provincial

PINC

List of pipeline incidents (strikes, leaks, spills). This is not a comprehensive or complete inventory of pipeline incidents in the province; this listing is an historical copy of records previously obtained under Access to Public Information. Records are not verified for accuracy or completeness.

Government Publication Date: Feb 28, 2017

Private and Retail Fuel Storage Tanks:

Provincial

PRT

The Fuels Safety Branch of the Ontario Ministry of Consumer and Commercial Relations maintained a database of all registered private fuel storage tanks and licensed retail fuel outlets. This database includes an inventory of locations that have gasoline, oil, waste oil, natural gas and/or propane storage tanks on their property. The MCCR no longer collects this information. This information is now collected by the Technical Standards and Safety Authority (TSSA).

*Government Publication Date: 1989-1996**

Permit to Take Water:

Provincial

PTTW

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all PTTW's on the registry such as OWRA s. 34 - Permit to take water.

Government Publication Date: 1994-Nov 30, 2019

Ontario Regulation 347 Waste Receivers Summary:

Provincial REC

Part V of the Ontario Environmental Protection Act ("EPA") regulates the disposal of regulated waste through an operating waste management system or a waste disposal site operated or used pursuant to the terms and conditions of a Certificate of Approval or a Provisional Certificate of Approval. Regulation 347 of the Ontario EPA defines a waste receiving site as any site or facility to which waste is transferred by a waste carrier. A receiver of regulated waste is required to register the waste receiving facility. This database represents registered receivers of regulated wastes, identified by registration number, company name and address, and includes receivers of waste such as: landfills, incinerators, transfer stations, PCB storage sites, sludge farms and water pollution control plants. This information is a summary of all years from 1986 including the most currently available data.

Government Publication Date: 1986-2016

Record of Site Condition:

Provincial RSC

The Record of Site Condition (RSC) is part of the Ministry of the Environment's Brownfields Environmental Site Registry. Protection from environmental cleanup orders for property owners is contingent upon documentation known as a record of site condition (RSC) being filed in the Environmental Site Registry. In order to file an RSC, the property must have been properly assessed and shown to meet the soil, sediment and groundwater standards appropriate for the use (such as residential) proposed to take place on the property. The Record of Site Condition Regulation (O. Reg. 153/04) details requirements related to site assessment and clean up.

RSCs filed after July 1, 2011 will also be included as part of the new (O.Reg. 511/09).

Government Publication Date: 1997-Sept 2001, Oct 2004-Nov 2019

Retail Fuel Storage Tanks:

Private RST

This database includes an inventory of retail fuel outlet locations (including marinas) that have on their property gasoline, oil, waste oil, natural gas and / or propane storage tanks.

Government Publication Date: 1999-Jul 31, 2019

Scott's Manufacturing Directory:

Private SCT

Scott's Directories is a data bank containing information on over 200,000 manufacturers across Canada. Even though Scott's listings are voluntary, it is the most comprehensive database of Canadian manufacturers available. Information concerning a company's address, plant size, and main products are included in this database.

*Government Publication Date: 1992-Mar 2011**

Ontario Spills:

Provincial SPL

This database identifies information such as location (approximate), type and quantity of contaminant, date of spill, environmental impact, cause, nature of impact, etc. Information from 1988-2002 was part of the ORIS (Occurrence Reporting Information System). The SAC (Spills Action Centre) handles all spills reported in Ontario. Regulations for spills in Ontario are part of the MOE's Environmental Protection Act, Part X.

Government Publication Date: 1988-Jun 2019

Wastewater Discharger Registration Database:

Provincial SRDS

Information under this heading is combination of the following 2 programs. The Municipal/Industrial Strategy for Abatement (MISA) division of the Ontario Ministry of Environment maintained a database of all direct dischargers of toxic pollutants within nine sectors including: Electric Power Generation; Mining; Petroleum Refining; Organic Chemicals; Inorganic Chemicals; Pulp & Paper; Metal Casting; Iron & Steel; and Quarries. All sampling information is now collected and stored within the Sample Result Data Store (SRDS).

Government Publication Date: 1990-Dec 31, 2017

Anderson's Storage Tanks:

Private TANK

The information provided in this database was collected by examining various historical documents, which identified the location of former storage tanks, containing substances such as fuel, water, gas, oil, and other various types of miscellaneous products. Information is available in regard to business operating at tank site, tank location, permit year, permit & installation type, no. of tanks installed & configuration and tank capacity. Data contained within this database pertains only to the city of Toronto and is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.

*Government Publication Date: 1915-1953**

Transport Canada Fuel Storage Tanks:

Federal TCFT

List of fuel storage tanks currently or previously owned or operated by Transport Canada. This inventory also includes tanks on The Pickering Lands, which refers to 7,530 hectares (18,600 acres) of land in Pickering, Markham, and Uxbridge owned by the Government of Canada since 1972; properties on this land has been leased by the government since 1975, and falls under the Site Management Policy of Transport Canada, but is administered by Public Works and Government Services Canada. This inventory provides information on the site name, location, tank age, capacity and fuel type.

Government Publication Date: 1970-Aug 2018

Variances for Abandonment of Underground Storage Tanks:

Provincial

VAR

Listing of variances granted for storage tank abandonment. This is not a comprehensive or complete inventory of tank abandonment variances in the province; this listing is a copy of tank abandonment variance records previously obtained under Access to Public Information. In Ontario, registered underground storage tanks must be removed within two years of disuse; if removal of a tank is not feasible, an application may be sought for a variance from this code requirement.

Records are not verified for accuracy or completeness.

Government Publication Date: Feb 28, 2017

Waste Disposal Sites - MOE CA Inventory:

Provincial

WDS

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of known open (active or inactive) and closed disposal sites in the Province of Ontario. Active sites maintain a Certificate of Approval, are approved to receive and are receiving waste. Inactive sites maintain Certificate(s) of Approval but are not receiving waste. Closed sites are not receiving waste. The data contained within this database was compiled from the MOE's Certificate of Approval database. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number. All new Environmental Compliance Approvals handed out after Oct 31, 2011 for Waste Disposal Sites will still be found in this database.

Government Publication Date: Oct 2011-Nov 30, 2019

Waste Disposal Sites - MOE 1991 Historical Approval Inventory:

Provincial

WDSH

In June 1991, the Ontario Ministry of Environment, Waste Management Branch, published the "June 1991 Waste Disposal Site Inventory", of all known active and closed waste disposal sites as of October 30th, 1990. For each "active" site as of October 31st 1990, information is provided on site location, site/CA number, waste type, site status and site classification. For each "closed" site as of October 31st 1990, information is provided on site location, site/CA number, closure date and site classification. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number.

*Government Publication Date: Up to Oct 1990**

Water Well Information System:

Provincial

WWIS

This database describes locations and characteristics of water wells found within Ontario in accordance with Regulation 903. It includes such information as coordinates, construction date, well depth, primary and secondary use, pump rate, static water level, well status, etc. Also included are detailed stratigraphy information, approximate depth to bedrock and the approximate depth to the water table.

Government Publication Date: Feb 28, 2019

Definitions

Database Descriptions: This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

Detail Report: This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

Distance: The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

Direction: The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

Elevation: The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

Executive Summary: This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

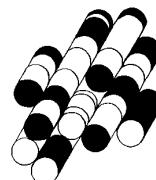
Map Key: The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

Unplottables: These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.

APPENDIX D

TERRAPROBE INC.



Amber Brooks

From: Public Information Services <publicinformationservices@tssa.org>
Sent: January 15, 2020 10:38 AM
To: Amber Brooks
Subject: RE: Registered Fuel storage tanks

Hello,

Thank you for your request for confirmation of public information.

We confirm that there are no records in our database of any fuel storage tanks at the subject addresses.

For a further search in our archives please complete our release of public information form found at https://www.tssa.org/en/about-tssa/release-of-public-information.aspx?_mid_=392 and email the completed form to publicinformationservices@tssa.org or through mail along with a fee of \$56.50 (including HST) per location. The fee is payable with credit card (Visa or MasterCard) or with a Cheque made payable to TSSA.

Although TSSA believes the information provided pursuant to your request is accurate, please note that TSSA does not warrant this information in any way whatsoever.



Sherees Thompson | Public Information Agent

Facilities
345 Carlingview Drive
Toronto, Ontario M9W 6N9
Tel: +1-416-734-3363 | Fax: +1-416-231-6183 | E-Mail: [s](mailto:s<thompson@tssa.org)



From: Amber Brooks <abrooks@terraprobe.ca>
Sent: January 14, 2020 4:16 PM
To: Public Information Services <publicinformationservices@tssa.org>
Subject: Registered Fuel storage tanks

Dear Sir/Madame,

To aid in our Environmental Assessment could you perform a search for registered fuel storage tanks on the following properties:

6583 Trafalgar Road, Milton, ON

Part Lot 8, Concession 8, Milton, ON

Part Lots 4 & 5, Concession 8, Trafalgar NS, Pts 1 to 5 ON 20R17190, Milton

Please let me know if you need any other information or if there will be a fee for this search.

Thanks,

Amber Brooks, B.Sc.

Project Manager, Environmental

Terraprobe

Geotechnical, Geostructural, & Environmental Engineering

Construction Materials, Inspection & Testing

903 Barton Street, Unit 22

Stoney Creek, Ontario, L8E 5P5

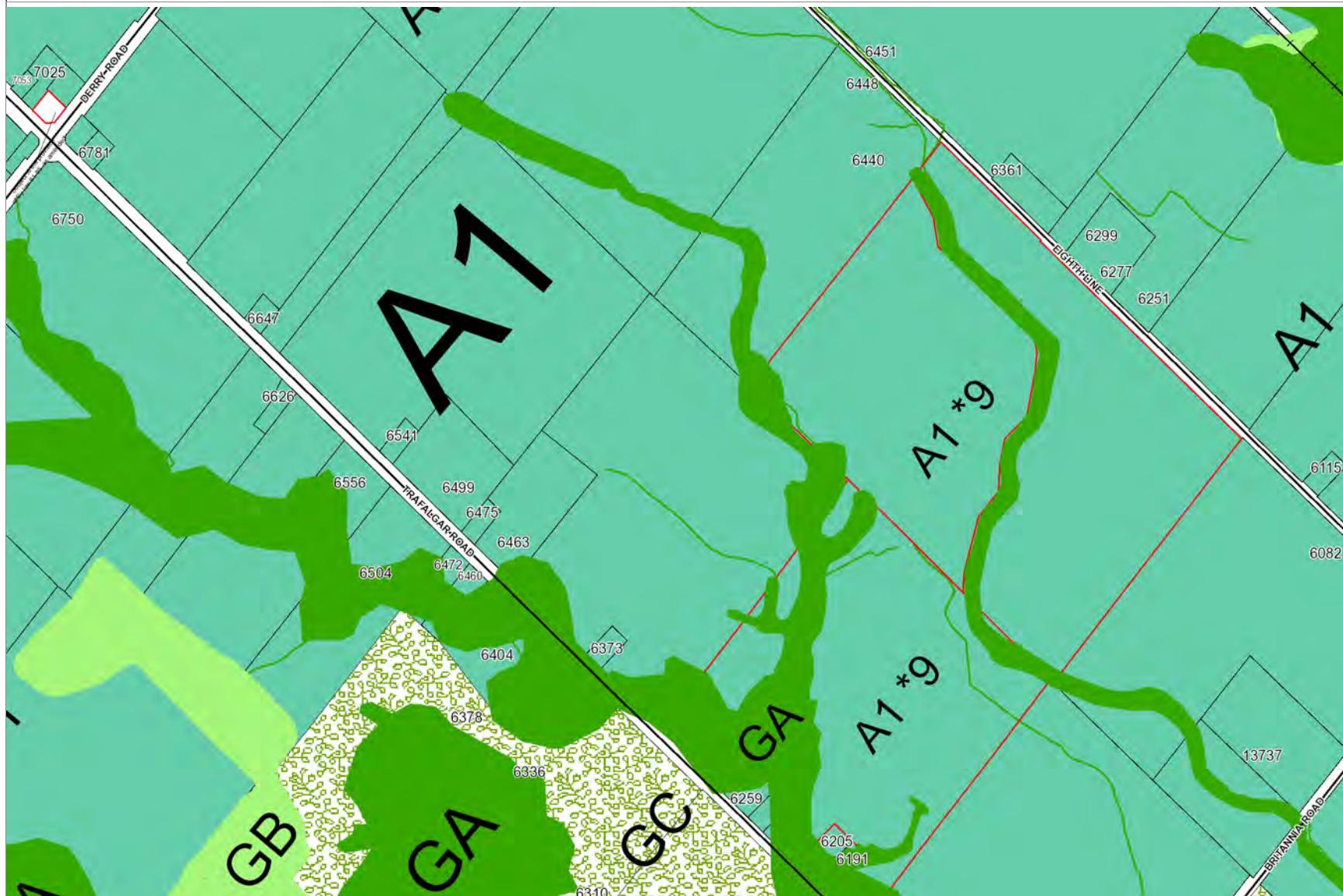
t: 905-643-7560, f: 905-643-7559

www.terraprobe.ca

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6583 Trafalgar Road, Milton

7-19-0004-41



Comments 2020/01/09

Map Printed On 2020-01-09 12:39

Powered by ROLTA OnPoint™

Legend

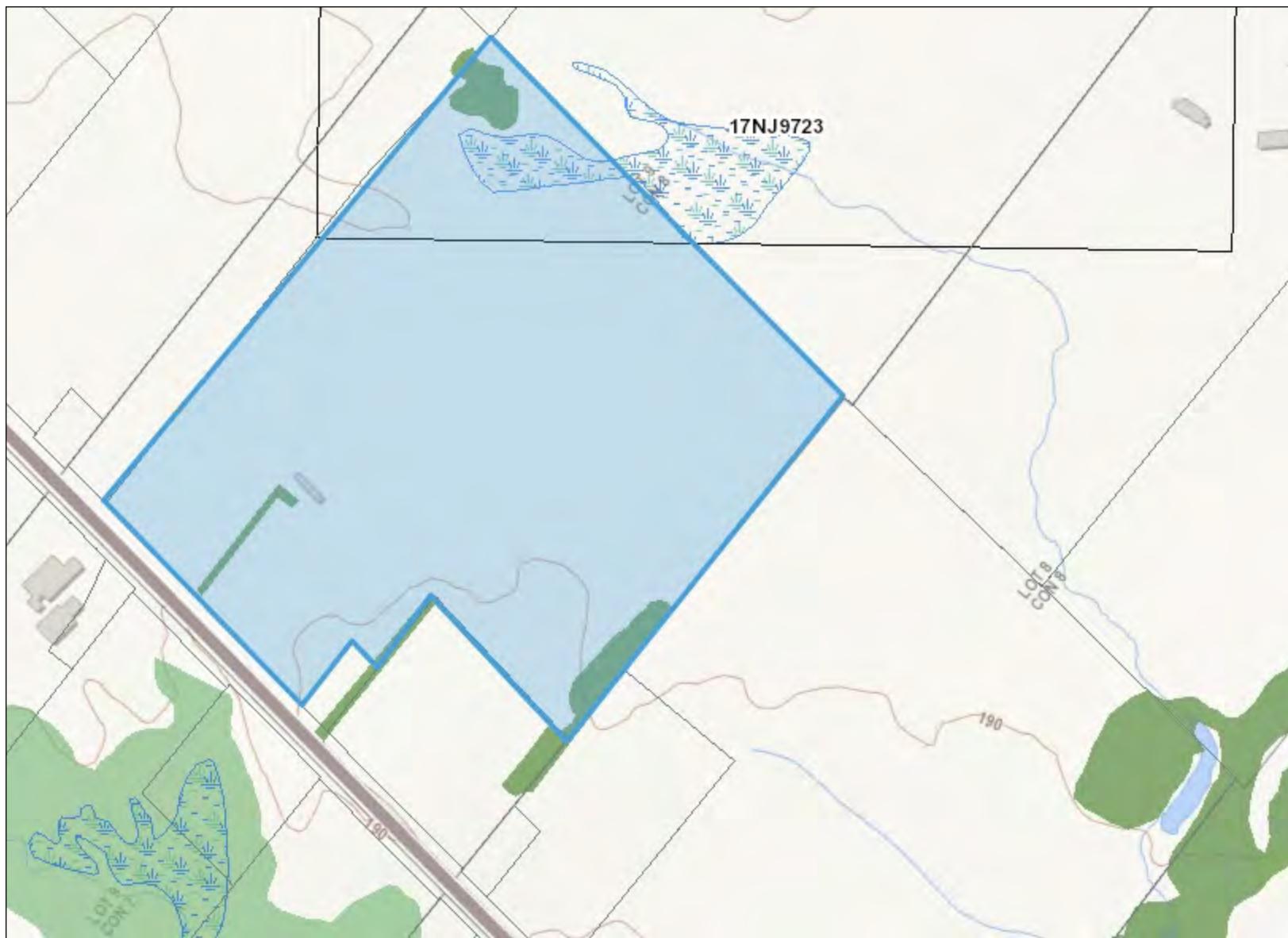
- RuralZoning
- Roads
- LOCAL, REGIONAL ROADS
- HIGHWAY
- Address Points
- Rail Line
- Milton Boundary
- Niagara escarpment commission
- Greenlands a
- Greenlands b
- Special provisions
- Appeals
- Nhs streams
- Zoning
- ZONECODE
- AI



Map Printed On 2020-01-09 12:39

Powered by ROLTA OnPoint™

6583 Trafalgar Road, Milton



This map should not be relied on as a precise indicator of routes or locations, nor as a guide to navigation. The Ontario Ministry of Natural Resources and Forestry(OMNRF) shall not be liable in any way for the use of, or reliance upon, this map or any information on this map.

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Legend

Wetland	
	Provincially Significant Wetland Evaluated
	Non - Provincially Significant Wetland Evaluated
	Unevaluated Wetland

Area of Natural Heritage & Scientific Interest (ANSI)

- Provincially Significant Life Science ANS!
- Provincially Significant Earth Science ANS!

The legend includes:
Boundary (green rectangle)
River Valley Connections (dashed line)
Land Use Designations:
Protected Countryside (light green)
Towns and Villages (brown)
Hamlets (dark brown circle)
Urban River Valley (red)
Specialty Crop Area (purple)

Niagara Escarpment Plan (NEP)

Land Use Designations

- E Escarpment Natural Area
- E Escarpment Protection Area
- E Escarpment Rural Area
- M Mineral Resource Extraction Area
- E Escarpment Recreation Area
- U Urban Area
- M Minor Urban Centre

Oak Ridges Moraine Conservation Plan (ORM)

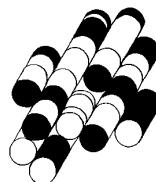
- Boundary
- Natural Core Area
- Natural Linkage Area
- Countryside Area
- Rural Settlement
- Palgrave Estates Residential Community
- Settlement Area

1



APPENDIX E

TERRAPROBE INC.





SCALE 0 100 200m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

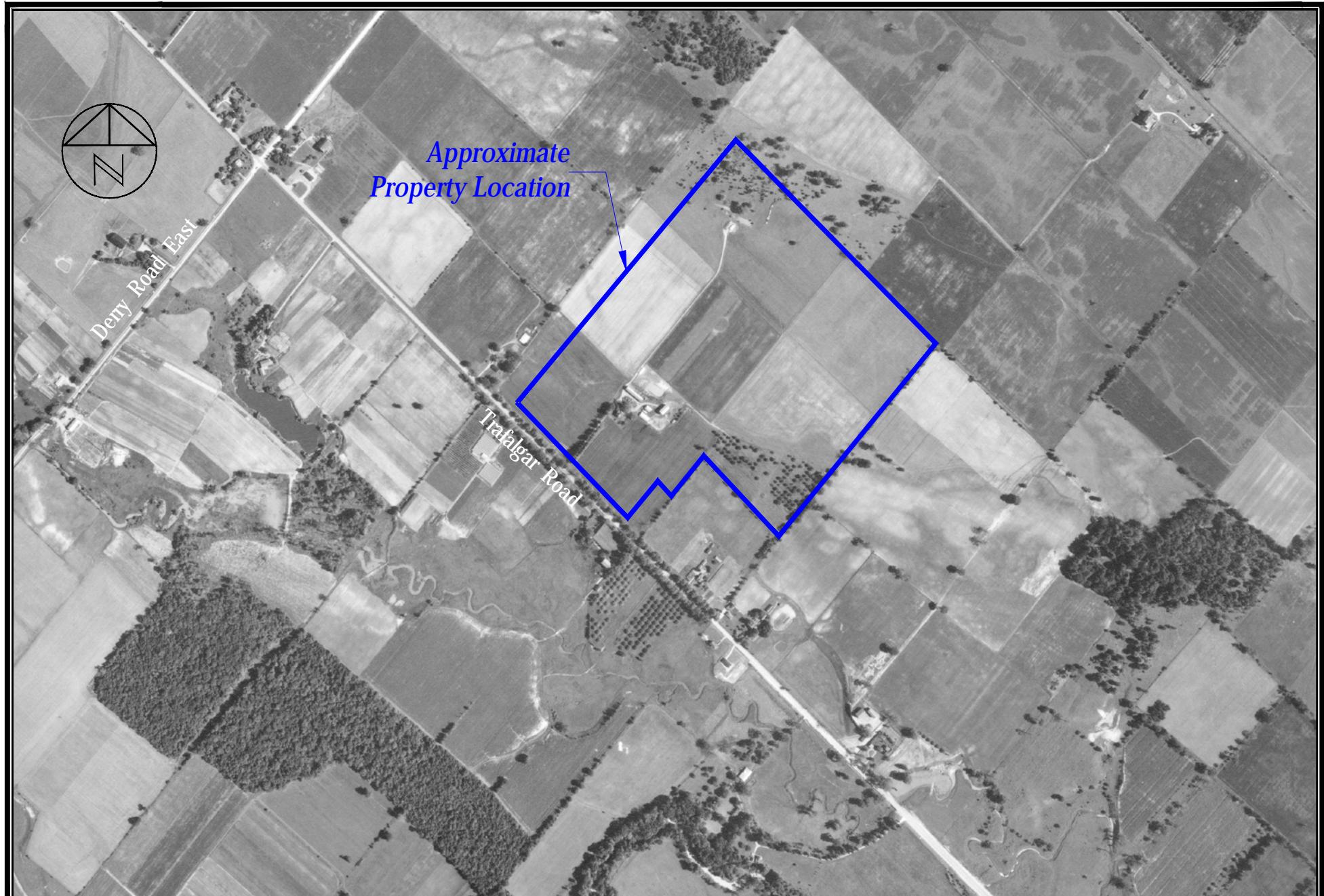
Title:

AERIAL PHOTOGRAPH

File No.

7-19-0004-41

YEAR :
1946



SCALE 0 100 200m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

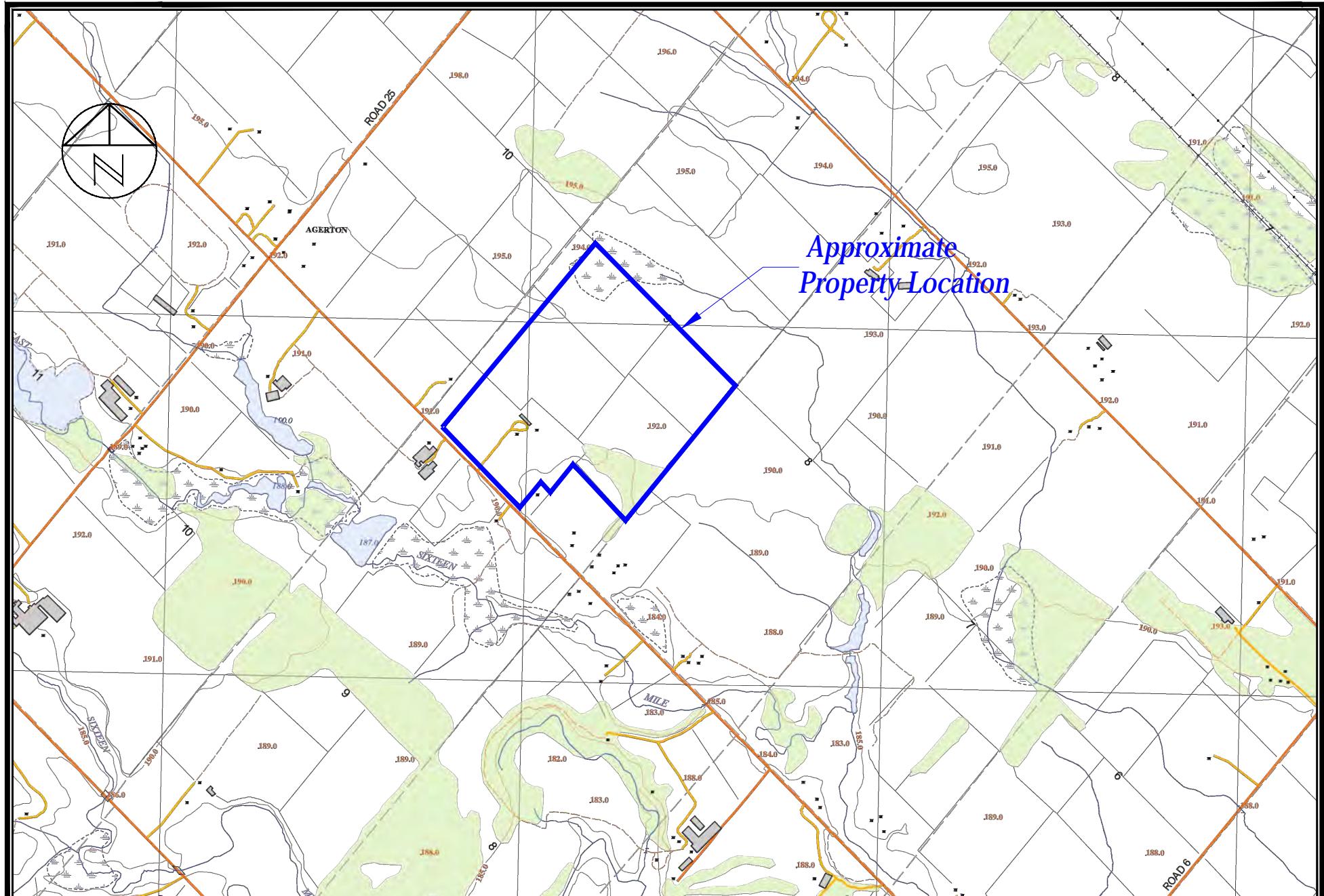
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AERIAL PHOTOGRAPH

File No.

7-19-0004-41

YEAR :
1965



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

Title:

ONTARIO BASE MAP

File No.

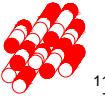
7-19-0004-41

YEAR :
1983



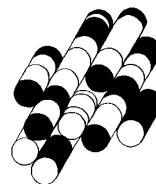
SCALE	0 100 200m	11 Indell Lane, Brampton, Ontario, L6T 3Y3 Tel: (905) 796-2650 Fax: (905) 796-2250	Title: SATELLITE IMAGE	YEAR : 2009
		File No.	7-19-0004-41	



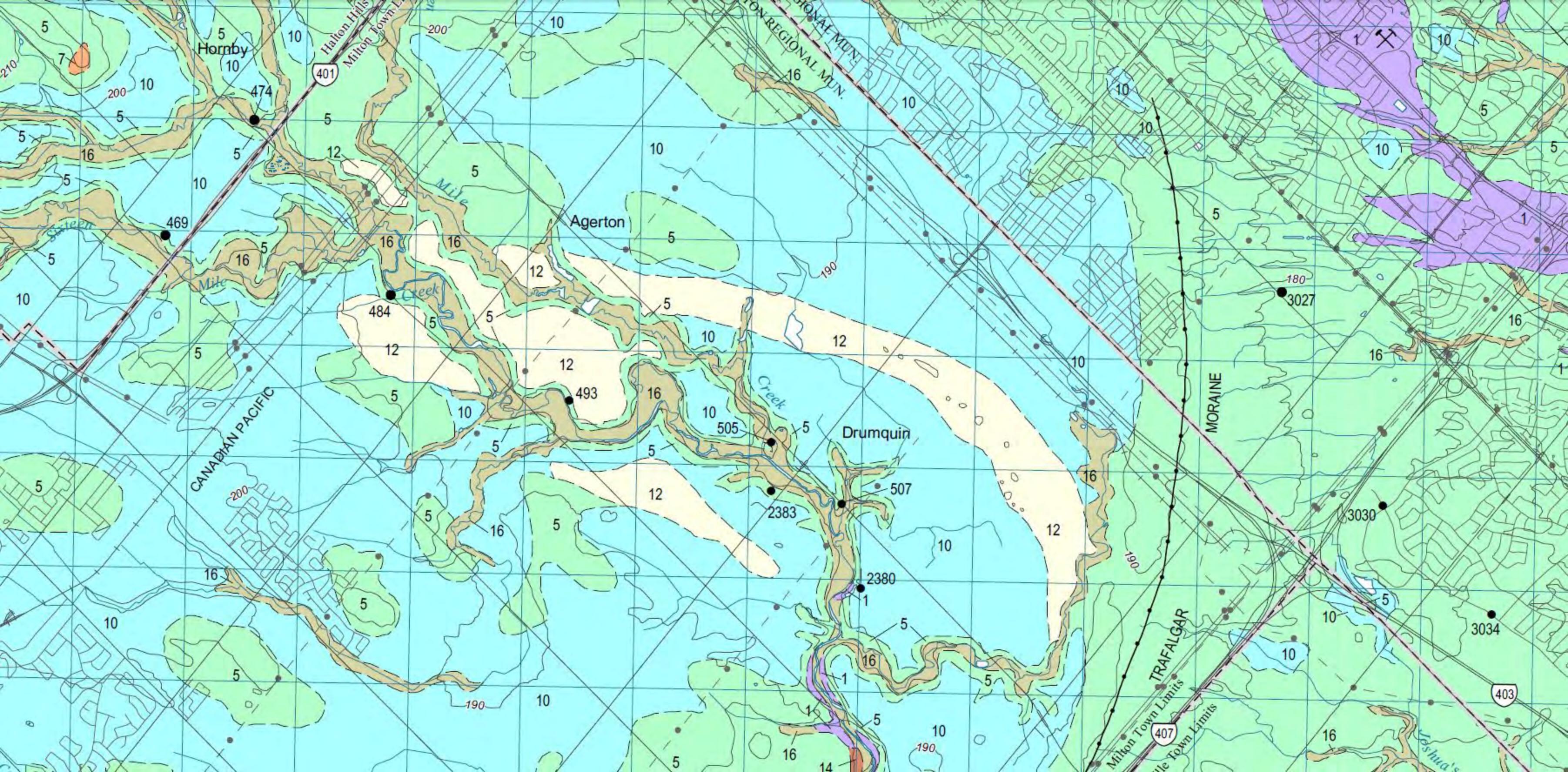
SCALE 0 100 200m	 Terraprobe 11 Indell Lane, Brampton, Ontario, L6T 3Y3 Tel: (905) 796-2650 Fax: (905) 796-2250	Title: SATELLITE IMAGE File No. 7-19-0004-41	YEAR: 2018
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APPENDIX F

TERRAPROBE INC.

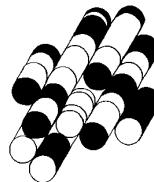






APPENDIX G

TERRAPROBE INC.



Map

Satellite

6583 Trafalgar Road, Milton, ON, Cana...



AGURTON

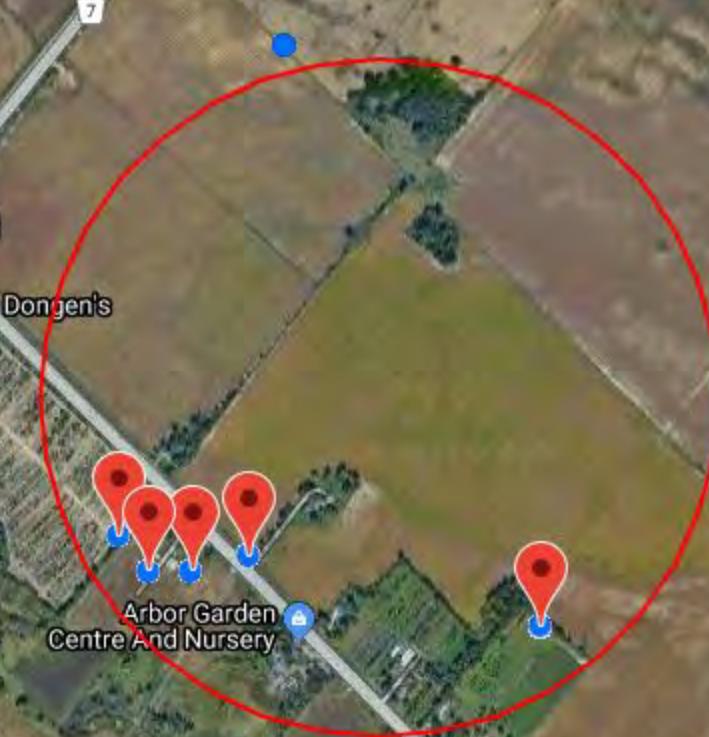
7

7

Van Dongen's

Arbor Garden
Centre And Nursery

Gerrick Carpentry



Global
Mississ...

Google

Map Data

200 m

Terms of Use

Report a map error

Latitude:43.54499, Longitude:-79.80381 (UTM Zone:17, Easting:596634, Northing:4822033)

Well ID	Well Record Information	Well Tag # (since 2003)	Audit #	Contractor	Well Depth (m)	Date of Completion (MM/DD/YYYY)
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2806663	PDF HTML	N/A	15839	1660	28.0	06/20/1987
2808176	PDF HTML	N/A	124109	3030	8.2	05/12/1993
7239240	HTML	A176339	Z121159	7230	6.1	10/25/2014
7266008	HTML	A201624	Z232698	7238	10.6	05/27/2016

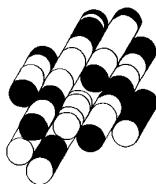
Showing 1 to 5 of 5 entries

First Previous 1 Next Last

Updated: January 24, 2020

APPENDIX H

TERRAPROBE INC.





Photograph 1

Location: Phase I Property
Viewing: Northeast
Description: View of the driveway leading to the residence at 6583 Trafalgar Road..



Photograph 2

Location: Phase I Property
Viewing: West
Description: View of the existing monitoring well located on the southwest portion of the Property, west of the driveway.



Photograph 3

Location: Phase I Property
Viewing: Northeast
Description: View of the agricultural field located on the western portion of the Property.



Terraprobe



Photograph 4

Location: Phase I Property
Viewing: Northwest
Description: View of the wooded area on the north portion of the Property, in the area of the former structure.



Photograph 5

Location: Phase I Property
Viewing: North
Description: View of the area rear of the residence, including the outbuilding. A former pond was located in the agricultural area south of the outbuilding.



Photograph 6

Location: Phase I Property
Viewing: Northeast
Description: View of the west side of the residence, the propane tank, used as the heating source for the Property, is also pictured.



Terraprobe



Photograph 7

Location: Phase I Property
Viewing: Southeast
Description: View of the concrete slab located at the rear of the house, in the area of a former structure. The pictured drums were empty at the time of the site assessment.



Photograph 8

Location: Phase I Property
Viewing: Interior
Description: View of the sump located in the basement of the residence. Areas of dampness were observed surrounding the sump.



Photograph 9

Location: Phase I Property
Viewing: Interior
Description: View of the propane-fired furnace and wood stove located in the basement of the residence.



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