

April 2, 2025

Town of Milton
Planning & Development Department
150 Mary Street
Milton, ON L9T 6Z5

Attention: Aaron Raymond, MCIP, RPP
Senior Planner, Planning & Development

Re: Revised Zoning Bylaw Amendment Submission (Bayview-Lexis Property)
Mattamy (Brownridge) Limited
File No. 24T-20001/M, 24T-20001/B
Part of Lot 7, Concession 5, NS (Geographic Township of Trafalgar), Town of Milton

Dear Mr. Raymond,

The following is an update to the original Planning Justification Report submitted in January 2020. The report was submitted in support of zoning by-law amendment and draft plan of subdivision applications required to facilitate the development of Mattamy (Brownridge) Limited lands on part of Lot 7, Concession 5, N.S. (Bayview-Lexis). This letter is intended to support an amendment to the approved zoning for Lot 29 from Phase 1 (24T-20001) and Lots 300-303, 330-355, 358-369, 391-396, 406-415, 426-431, 486, and 487 from Phase 2 (24T-20001/B).

Korsiak Urban Planning has been retained to assess the planning rationale of an amendment the approved site-specific zoning by-laws 025-2021 and 039-2022 to permit a minimum dwelling face of 3.2 metres so long as the garage face does not exceed 64% of the elevation, whereas a minimum 3.3-metre dwelling face and a maximum 60% garage face are currently required. This amendment will accommodate a two-car garage on 11-metre (36') lots. Further support is provided by Q4 Architects in an appended letter (Appendix A).

Supplemental Policy Review

Provincial Planning Statement (PPS) 2024

The PPS 2024 came into effect on October 20th, 2024. The intent of the PPS 2024 is to consolidate and replace both the PPS 2020 and A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020). The statement maintains the Province's recent emphasis on building more homes.

Within the PPS 2024 are a number of new Provincial Policies that pertain to this proposal, including:

Policies in the 'Housing' section state:

- 1.4.3 Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:*
- a) establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households and which aligns with applicable housing and homelessness plans. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;*
 - b) permitting and facilitating:*
 - 1. all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities; and*
 - 2. all types of residential intensification, including additional residential units, and redevelopment in accordance with policy 1.1.3.3; [...]*
 - f) establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.*

The amendment proposes development standards that accommodate additional parking and potential for additional residential units within a typical lot size, making efficient use of the compact built form.

Region of Halton Official Plan

86. [...]

(10) Require Local Official Plans and Zoning By-laws to permit additional residential units in new and existing residential development, provided that health, safety and other reasonable standards or criteria (e.g. the provision of parking or adequacy of services) are met [...]

(10.1) Ensure that the standards or criteria identified in a Local Official Plan or Zoning By-law shall not preclude or prohibit the establishment of additional residential units, as provided for in Provincial legislation, policy or plans.

Current zoning criteria in the parent zoning restricts garage size to less than two standard side-by-side parking spaces on a typical 36' lot. This constrains the ability to accommodate an additional residential unit with parking.

Town of Milton Official Plan

2.7.3.17 ADDITIONAL RESIDENTIAL UNITS

To increase the supply of ground-related and rental housing, allow flexibility for multi-generational living, increase opportunities for affordable housing and provide gentle intensification, additional residential units (ARUs) shall be permitted within the Urban Area [...].

The true two-car garage allows for an increase in parking available within the provided garage and driveway, enabling homeowners to rent out basement suites without widening their driveway. Refer to the enclosed letter by Q4 Architects for more information (Appendix A).

Town of Milton - Boyne Secondary Plan

Urban Design

C.10.4.5.3 [...]

- h) A mix of lot sizes, building types and architectural styles with high quality building materials will be encouraged on a street-by-street basis to reinforce the character of the existing community. In particular, dwellings shall be designed to reduce the impact of garages, and garages shall generally not project beyond the main wall of a unit without significant mitigating design elements.*

In support of this objective, the garages do not project beyond the main wall of the unit. The reduction in dwelling face width is minor. 3.28 metres is provided whereas 3.3 metres is required. Rather than a single garage door that is double wide, the models have two single garage doors that aid in breaking up the garage face. In addition, four of the available elevations (Appendix B) include a second floor balcony that projects closer to the street than the garage, further diminishing the dominance of the garage face.

Density

There is no change proposed to the permitted uses or approved draft plan of subdivision, therefore the density still conforms to the Region and Town policies.

Zoning

The subject lands are zoned RMD1-283 and RMD1-315. These zones permit single detached dwelling units with a minimum 3.3-metre dwelling face so long as the garage face does not exceed 60% of the elevation. The proposal seeks to amend the approved site-specific zoning by-laws 025-2021 and 039-2022 to permit a minimum dwelling face of 3.2 metres so long as the garage face does not exceed 64% of the elevation. This will allow single detached dwellings to be built on 36' lots with true two-car garages, with an interior garage size wide enough to accommodate two side-by-side parking spaces, and a dwelling face of 3.28m. Redlined versions of the approved site-specific zoning by-laws are included with the application submission.

Summary

The proposed development requires a Zoning By-law Amendment to accommodate additional parking within the provided garage and support provision of housing and affordability in Milton. This proposal will increase the additional dwelling units and rental opportunities in an area served by a neighbourhood park and in proximity to schools. The proposal continues to conform to the Provincial Planning Statement, Region of Halton Official Plan, and the Town of Milton's Boyne Secondary Plan, as outlined in the previously submitted Planning Justification Report and this Addendum.

Respectfully submitted,

KORSIAK URBAN PLANNING

Constance Ratelle, MPlan, RPP

Encl.

Copy: Jon Rafter, Mattamy Homes



Frances Martin-DiGiuseppe
Q4 Architects Inc.
4110 Yonge St., Suite 602
Toronto, ON M2P 2B7

Development Services Department
Town of Milton
150 Mary Street
Milton, ON L9T 6Z5

To the attention of the Development Services Department,

On behalf of Q4 Architects, we are writing to express our support for Mattamy Homes' request for a zoning amendment to permit wider driveways and garage faces for 36' single-detached homes in an upcoming Milton community. The current zoning by-law restrictions on porch width (3.3m minimum) and maximum garage face width (60% of the building face) have resulted in zoning deficiencies for these homes, as noted in your review referencing sections 13.1.1.315 and 13.1.1.334.

As a firm with extensive experience in residential design, we recognize the growing demand for more diverse and attainable housing solutions in the Greater Toronto Area (GTA). Given the current economic climate and housing affordability challenges, many prospective homeowners are seeking ways to offset their mortgage costs. A significant trend in the market is the increasing reliance on basement suites as secondary dwelling units. These units not only provide homeowners with additional income opportunities but also contribute to the supply of much-needed rental housing in the region.

The Ontario government has recognized the importance of basement suites in addressing the housing crisis and has made efforts to facilitate their development. The upcoming changes to the Ontario Building Code (OBC), particularly those aimed at simplifying the process of constructing secondary suites in single-detached homes, reflect this shift. The OBC amendments include relaxed egress requirements, fire separation allowances, and improved flexibility in designing basement units, all of which encourage the creation of legal, safe, and affordable rental housing.

Furthermore, we are aware that current Mattamy homeowners in Milton are applying for permits to construct basement suites but are frequently being denied due to driveway width and garage face limitations, which prevent adequate parking for a third vehicle. The Town of Milton has acknowledged these applications and has engaged directly with Mattamy Homes regarding this issue. This demonstrates that the demand for basement suites already exists, and the current by-law is a significant barrier to meeting this demand. If these homeowners continue to be denied permits, there is a strong likelihood that some will resort to building basement suites themselves or hiring contractors who may operate without proper permits. This will only exacerbate the GTA's ongoing issue with illegal basement suites, many of which



do not comply with OBC standards and pose significant safety risks to occupants. Recent news reports have highlighted the dangers of such illegal suites, including inadequate fire protection, ventilation, and emergency exits, putting lives at risk.

In addition to the challenges posed by restricted driveway widths, we have observed that many current homeowners in Milton are taking matters into their own hands by widening their driveways without permits. Desperate to find parking for an additional vehicle, homeowners across the town have paved or applied other forms of hardscaping to their front yards, expanding the parking capacity of their lots. This unregulated driveway widening not only circumvents zoning requirements but also negatively impacts the overall aesthetic appeal of neighborhoods. Unpermitted hardscaping often lacks proper drainage considerations and disrupts the visual cohesion of the streetscape, diminishing the carefully planned character of the community. Additionally, this unapproved driveway widening can cause issues for pedestrians and can negatively impact on-street parking. We have included images of several of these widened driveways at the end of this document for your reference.

The proposed zoning amendment will not result in excessive garage dominance, as our designs fall within a reasonable range of 63-64% garage face width—only marginally above the 60% limit. The increased driveway and garage width will help facilitate secondary suites by ensuring adequate parking availability, thereby directly contributing to a more flexible and inclusive housing market.

We strongly encourage the Town of Milton to consider this amendment as part of a broader effort to support housing affordability and availability. Allowing these adjustments will enable more homeowners to create secondary suites, providing additional rental opportunities and increasing overall housing stock in the community. Given the ongoing housing crisis, forward-thinking policies such as this amendment will help address real and pressing needs for both homeowners and renters alike.

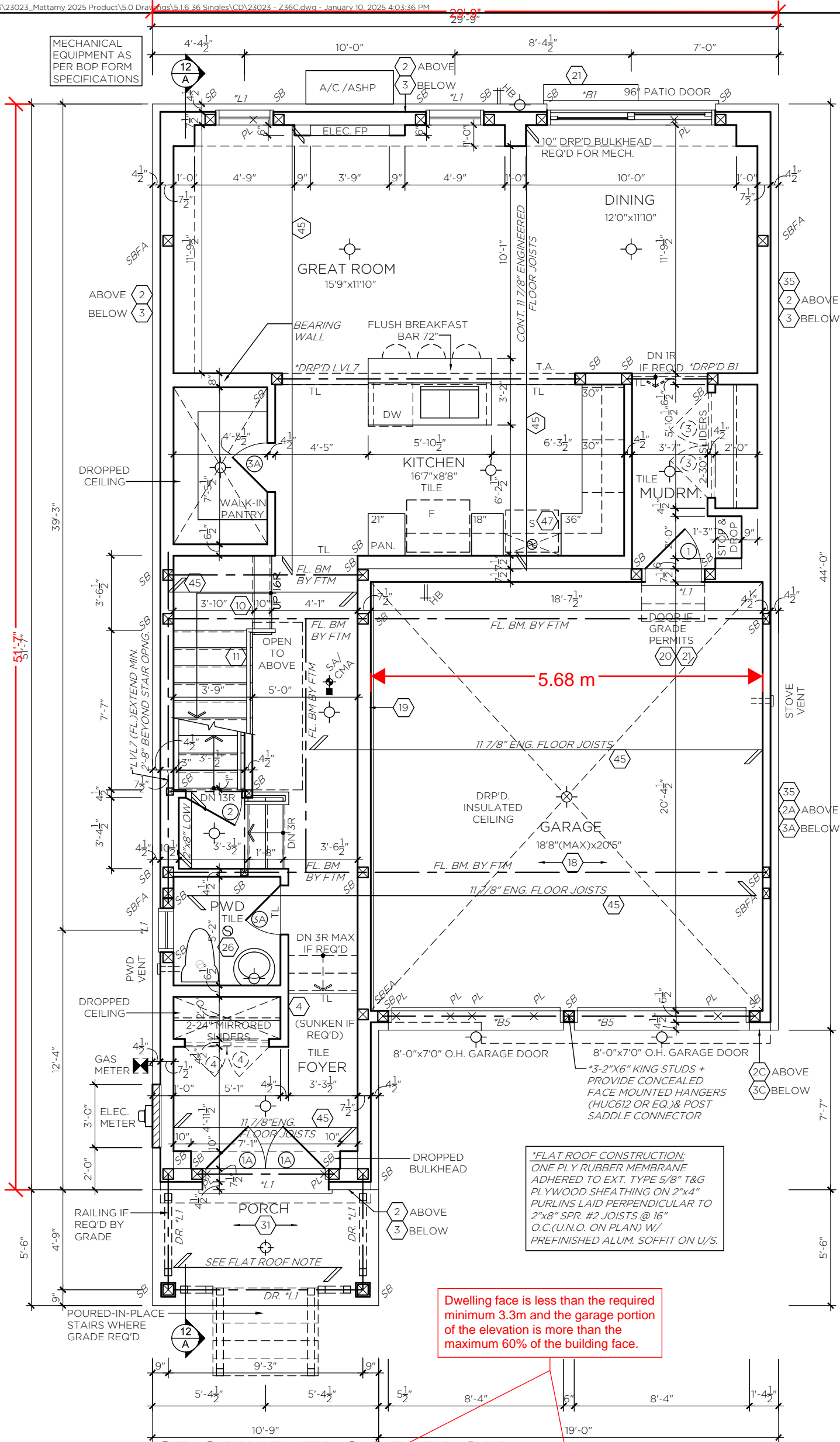
Thank you for your time and consideration. We look forward to your support in helping to create a more accessible and sustainable housing landscape in Milton.

Sincerely,

Frances Martin-DiGiuseppe
OAA, AAA, MRAIC
Principal
Q4 Architects Inc.

Q4A





INTERNAL GARAGE DIMENSIONS
Minimum 2.9 m of unobstructed width and minimum 5.3m obstructed length shall be maintained for a parking space, with the exception that one stair may be located within that width

NO STEP/STAIRS/LANDINGS
permitted to encroach into a required interior side yard



FOR STRUCTURAL ITEMS ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 08, 2025

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

These drawings must be read in conjunction with Q4 standard construction details: **D1 to D29**

Q4A

ARCHITECTS

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ONTARIO ASSOCIATION OF ARCHITECTS

Frances Martin Di Giuseppe

FRANCES MARTIN DI GIUSEPPE

LICENCE 7216

Issued / Revision Chart		
7	ISSUED FOR PERMIT	24.12.16
6	REVISE AS PER ENG COMMENTS	24.12.16
5	REVISE FOR 2024 OBC	24.12.16
4	COMMENTS APPLIED AS PER CLIENT	24.11.13
3	ADD LO. WO & REAR UPGRADE	24.10.01
2	PEER REVIEW	24.08.09
1	SELF CHECK	24.08.08

GROUND FLOOR PLAN

HAWTHORNE EAST VILLAGE PH. 4

MILTON, ONTARIO

MATTAMY

Z36C

THE MAXWELL

ELEVATION B

Project No. **24011**

Scale **3/16" = 1'-0"**

Drawn By **CP**

Checked By **MB**

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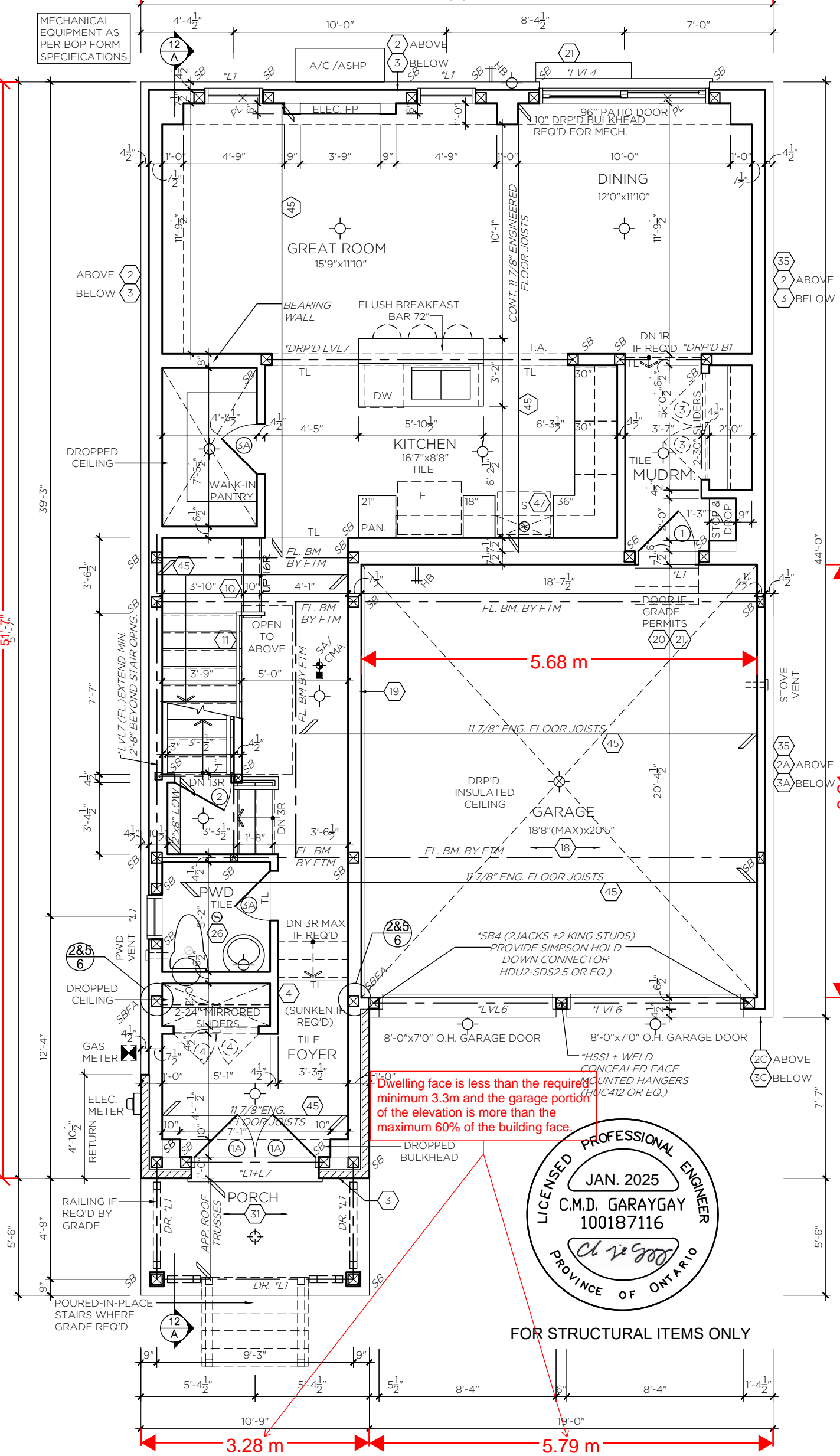
TOWN OF MILTON

FEB 28, 2025

Z36C B

BUILDING DIVISION

6



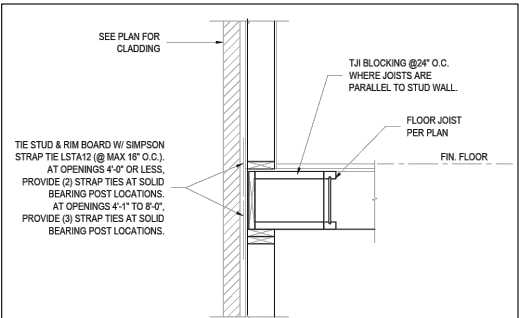
GROUND FLOOR PLAN
ELEVATION 'C'

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HSS1:
=CONT. HSS 4"x4"x1/4" STL. COL. PROVIDE
6"x8"x1/2" BOT. STL. BEARING PL.
ANCHORED TO FDN. WALL W/ (2) 1/2" DIA.
WELDED HOOKED ANCHORS 6" LG. + 2"
HOOK. PROVIDE 5"x10"x1/2" TOP STL. PL.
BOLTED TO WALL DOUBLE TOP PL. W/ (2)
1/2" DIA. THROUGH BOLTS C/W NUTS &
WASHERS.

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stair may be located within that width

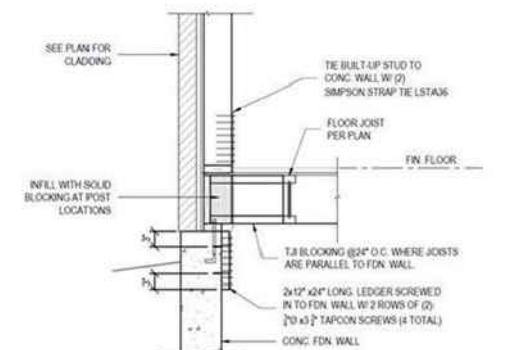
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FOR GROUND SNOW LOAD = 2.5 KPA

**2 FLOOR TO FLOOR
TIE-DOWN DETAIL**

****REFER TO TRUSS LAYOUT FOR
UPLIFT TIEDOWN REQUIREMENTS****



**5 FLOOR TO
FOUNDATION
TIE-DOWN DETAIL**

****REFER TO TRUSS LAYOUT FOR
UPLIFT TIEDOWN REQUIREMENTS****

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
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GROUND FLOOR PLAN

HAWTHORNE EAST VILLAGE PH. 4

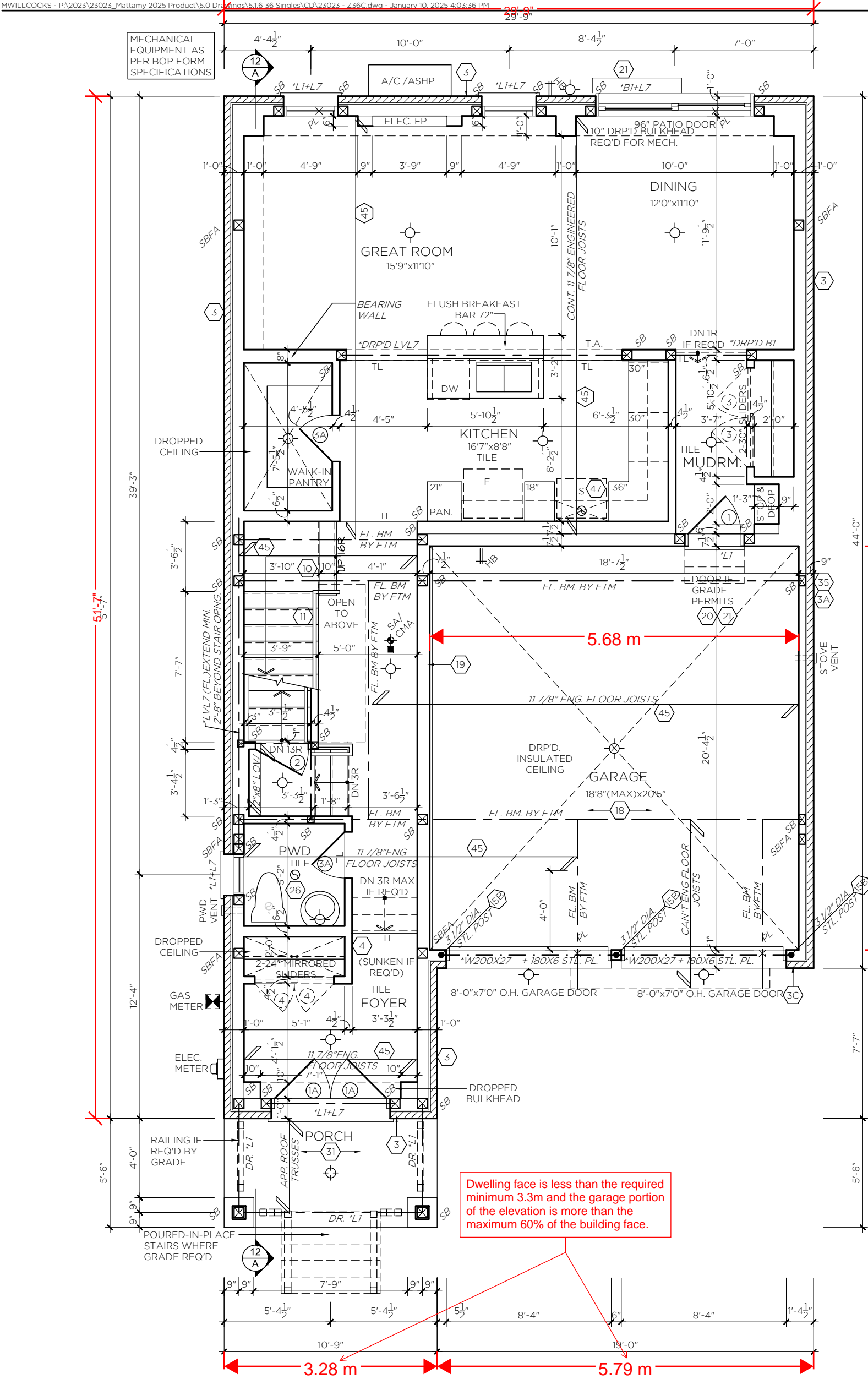
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MATTAMY

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Z36C
THE MAXWELL
ELEVATION C

Project No. **24011**
Scale **3/16" = 1'-0"**
Drawn By **CP**
Checked By **MB**



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GROUND FLOOR PLAN ELEVATION 'D'

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Q4 standard construction details: **D1 to D29**



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1	SELF CHECK	24.08.08 CP

GROUND FLOOR PLAN

HAWTHORNE EAST VILLAGE PH. 4

MILTON, ONTARIO

MATTAMY

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BUILDING DIVISION**

Z36C THE MAXWELL ELEVATION D

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GROUND FLOOR PLAN

HAWTHORNE EAST VILLAGE PH. 4

MILTON, ONTARIO

MATTAMY

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BUILDING DIVISION

Z36C
THE MAXWELL
ELEVATION E

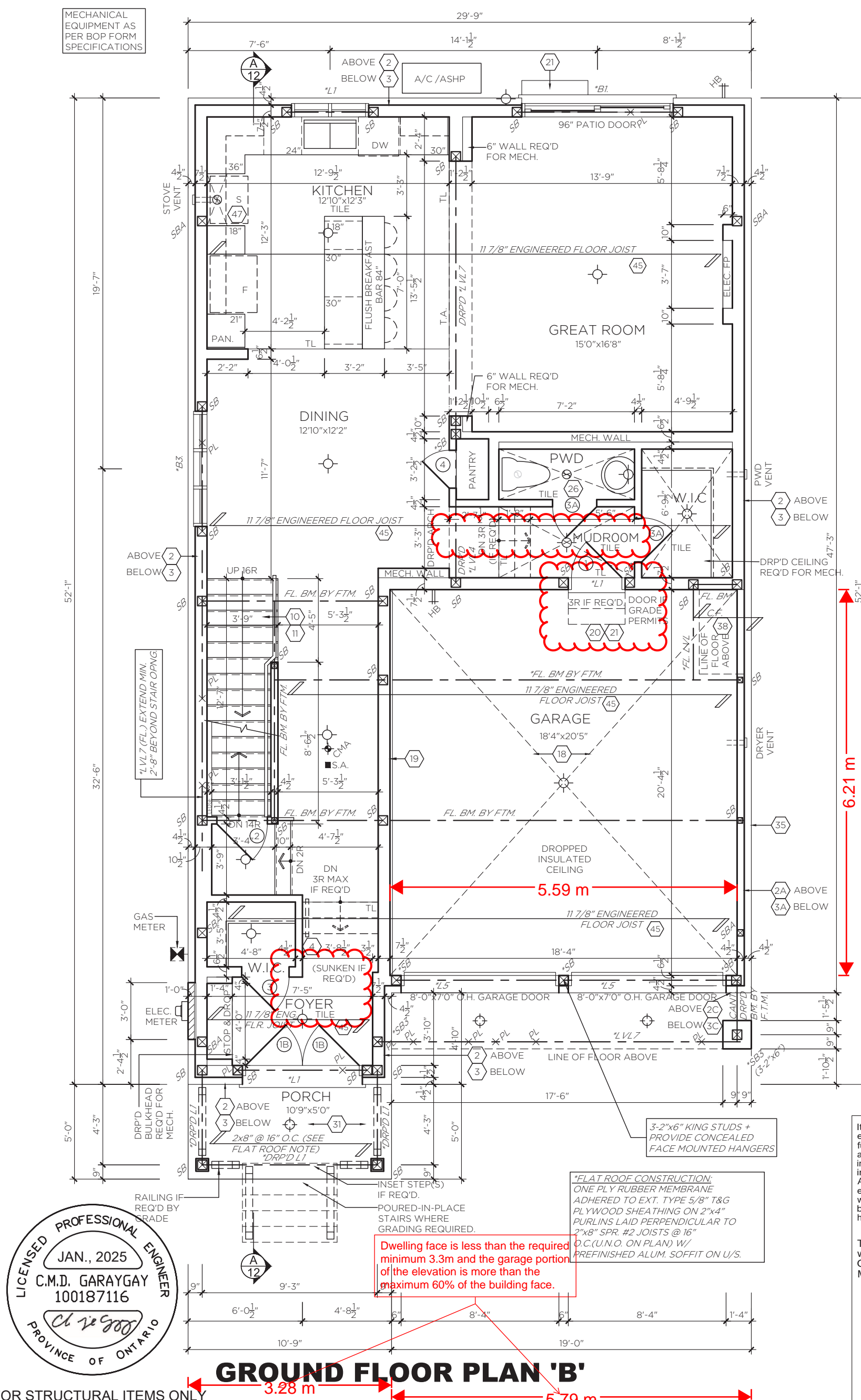
Project No. 24011

Scale $3/16' = 1'-0''$

Drawn By CP

Checked By MB

These drawings must be read in conjunction with Q4 standard construction details: **D1 to D29**



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3	ISSUED FOR CLIENT REVIEW	24.09.06 CM
2	PEER REVIEW	24.08.13 MB
1	CONSTRUCTION DRAWING	24.07.31 MB

GROUND FLOOR PLAN

HAWTHORNE EAST VILLAGE PH. 4

MILTON, ONTARIO

MATTAMY HOMES

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TOWN OF MILTON
FEB 21, 2024
Z36D**

Z36D

THE QUINTON ELEVATION 'B'

D1 to D29

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Project No.	2401
Scale	3/16" = 1'-0"
Drawn By	CM
Checked By	MB

6

GROUND FLOOR PLAN 'C'

Dwelling face is less than the required minimum 3.3m and the garage portion of the elevation is more than the maximum 60% of the building face.

GROUND FLOOR PLAN

HAWTHORNE EAST VILLAGE PH. 4

MILTON, ONTARIO

MATTAMY HOMES

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TOWN OF MILTON
FEB 21, 2025
Z36D C
BUILDING DIVISION

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Frances Martin Di Giuseppe
FRANCES MARTIN DI GIUSEPPE
LICENCE
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D1 to D29

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AND APPROVAL

APPROVED BY: 

DATE: JAN 08, 2025

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Project No.	240
Scale	3/16' = 1'-0"
Drawn By	C
Checked By	M

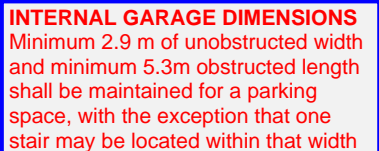
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GROUND FLOOR PLAN 'D'

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Z36D
THE QUINTON
ELEVATION 'E

Project No. 24011

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Drawn By CM

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7	REVISE AS PER ENG COMMENTS	24.12.16	CP
6	REVISE FOR 2024 OBC	24.12.16	CP
5	REVISE AS PER CLIENT COMMENTS	24.11.15	CP
4	ADD LO, WO & REAR UPGRADE	24.10.01	CP
3	ISSUED FOR CLIENT REVIEW	24.09.06	CM
2	PEER REVIEW	24.08.13	MB
1	CONSTRUCTION DRAWING	24.07.31	CM

GROUND FLOOR PLAN

HAWTHORNE EAST VILLAGE PH. 4

MILTON, ONTARIO

MATTAMY HOMES

RECEIVED
TOWN OF MILTON
FEB 21, 2025
Z36D E
BUILDING DIVISION