

April 21, 2017

Ms. Angela Janzen
Planner - Development Review
Planning and Development Department
Town of Milton
150 Mary Street
Milton, ON
L9T 6Z5

Dear Ms. Janzen:

**Re: Planning Justification
Application to Amend Zoning By-law 016-2014
2487586 Ontario Inc., c/o Valour Management Inc.
248 and 250 Martin Street
Town of Milton
Our File No.: 2017/06**

Wellings Planning Consultants Inc. has been retained by 2487586 Ontario Inc. to provide planning justification for a rezoning of the lands known as 248 and 250 Martin Street ("subject lands"). The subject lands contain a single-detached dwelling at the north end (248 Martin Street) with former industrial buildings located on the south and west portions of the subject lands (250 Martin Street). The single-detached dwelling located at 248 Martin Street is on Milton's Heritage List. The single-detached dwelling will be retained, with a minor addition proposed and the dwelling will be converted to two (2) dwelling units.

The purpose of the rezoning application is to rezone the subject lands from the current Residential Low Density (RLD) Zone to a modified Residential Medium Density II (RMD2) Zone to facilitate the construction of nineteen (19) townhouse units within four (4) blocks, including the two (2) units to be located within the existing single-detached dwelling.

Property Location/Description

The subject lands are located in the Mountain View community, immediately north of the Central Business District/Urban Growth Centre on the west side of Martin Street, north of the newly expanded Martin Street Public School.

150 Martin Street contains two (2) buildings. Building A, located on the central portion of the site, is a one (1) storey building with no basement. Building B, located on the northwest portion of the site consists of a two (2) storey former residential building (east portion of Building B) and a single-level commercial portion (west portion of Building B). These two (2) buildings have a floor area of approximately 1,000 square metres (10,764 square feet).

The subject buildings located at 150 Martin Street were constructed at different times from the 1940s to the 1970s. At one time there was a concrete repair, sealing and coating business on site as well as a tire dealer and repair shop. A Phase One Environmental Site Assessment ("ESA") has been undertaken by Toronto Inspection Ltd. and the firm identified a number of Potentially Contaminating Activities (PCAs) given the presence of unknown fill material; past land use activities; evidence of former underground structures in the central portion of Building B; and the potential of historical heating oil on the site. A Phase Two ESA is currently being undertaken, including soil sampling.

148 Martin Street currently contains a single-detached dwelling. The two (2) properties are approximately 0.42 hectares (1.03 acres) in size and have approximately 31.85 metres (104.5 feet) of frontage on Martin Street.

A Site Plan showing the subject lands and the proposed nineteen (19) townhouse units is attached as **Appendix 1**. One (1) parking space will be provided within a private garage associated with seventeen (17) of the proposed units and each of these units will have an additional parking space in the private driveway. Four (4) surface parking spaces will be provided for the two (2) units planned within the existing single-detached dwelling (148 Martin Street). Five (5) surface visitor parking spaces, including one (1) Type A barrier-free parking space are provided.

Surrounding Land Uses

Immediately to the west of the subject lands is the property once occupied by Meritor, an automobile parts manufacturer (coil springs). The facility was closed in 2009. The Meritor lands are within the Milton 401 Industrial/Business Park.

To the north and east there are single-detached dwellings located on both side of Martin Street and along Caves Court and Kings Court Crescent. As shown in Figure 1 below, Martin Street Public School is located to the south and W.I. Dick Middle School is located to the east in conjunction with parkland.

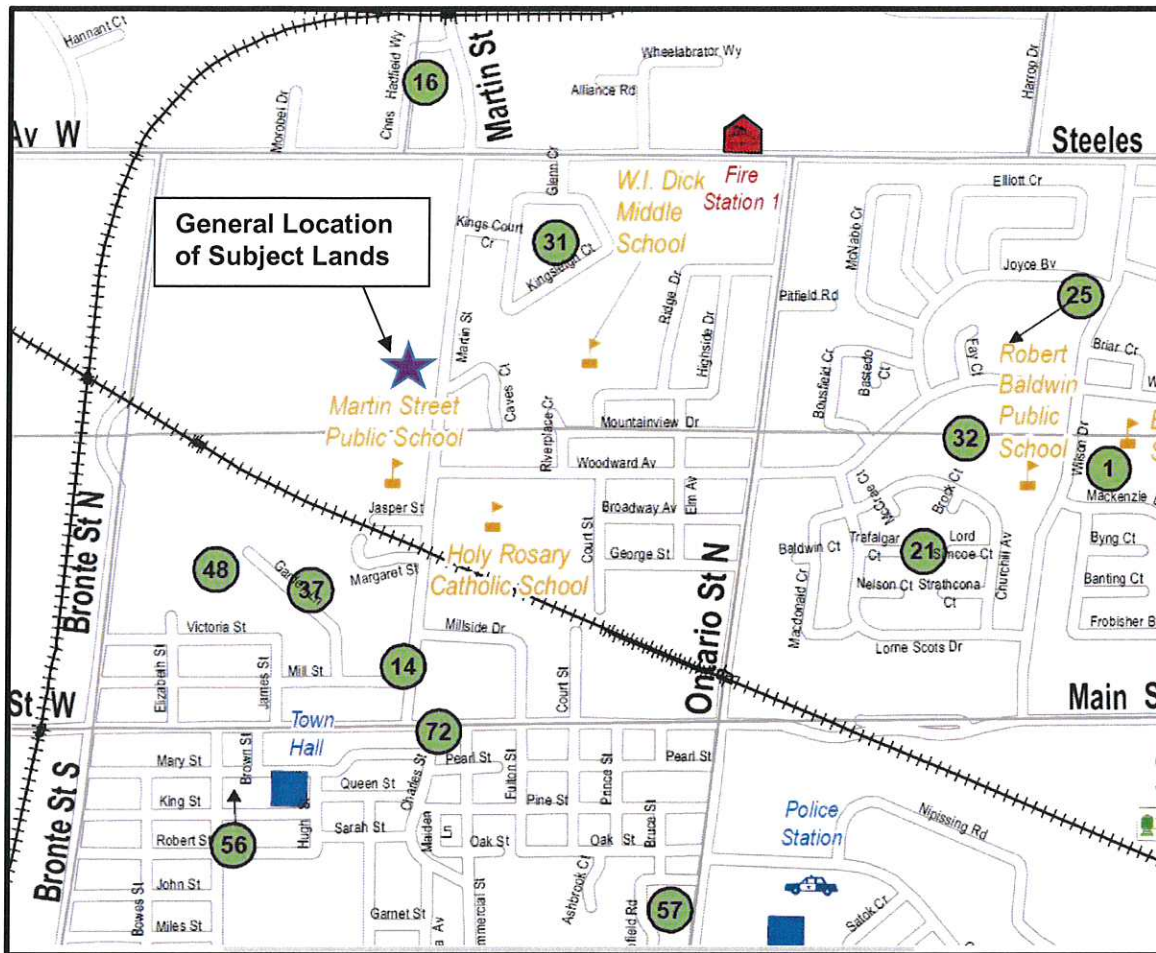


Figure 1 – Extract from Town of Milton Urban Street Map

Planning Framework

Provincial Policy Statement 2014

The PPS contains a number of goals and objectives aimed at building strong, complete communities. The goal is to create efficient development patterns that take advantage of public investment in infrastructure and services. Efficient development patterns promote a mix of housing, employment and other uses.

The subject lands are within the built-up area of the Town of Milton.

In our opinion, the proposed rezoning is consistent with the PPS.

Growth Plan 2006

The Growth Plan (2006) promotes complete communities, including infill and intensification in “built-up” areas. Some of the Guiding Principles of the Growth Plan include compact, vibrant and complete communities and optimizing the use of existing infrastructure to support growth in a compact, efficient form. The proposed redevelopment to provide for 19 new townhouse units represents a compact, efficient form of growth.

In our opinion, the proposed rezoning conforms to the Growth Plan (2006).

Halton Region Official Plan

The 2009 Halton Region Official Plan (“Regional Plan”) was amended by Regional Official Plan Amendment No. 38 (“ROPA 38”). ROPA 38 was approved in large part by various Ontario Municipal Board decisions.

The subject lands are designated Urban Area on Map 1, Regional Structure of the Regional Plan. Part II, Table 2 of the Regional Plan targets 5,300 units as the minimum number of new housing units to be added to the built-up area of Milton to the year 2031. The planned 19 additional units will assist in meeting this goal while also meeting other Regional Urban Area objectives related to complete communities and intensification.

We have reviewed the Land Stewardship (Urban Area) Policies in Part III and Healthy Community Policies in Part IV of ROPA 38 and conclude that the proposed rezoning conforms thereto.

Town of Milton Official Plan (“OP”)

The subject lands are designated Residential Area on Schedule B to the OP - Urban Area Land Use Plan (see Figure 2 below). To the west there is additional land designated Residential Area (yellow narrow strip) and then abutting lands are designated Business Park Area and part of the 401 Industrial/Business Park. The 401 Industrial/Business Park Secondary Plan was adopted by Council in June 2000 and approved by the Region of Halton on February 20, 2001.

Section 3.2 of the OP contains policies for the Residential Area designation and Subsection 3.2.1.1 states:

“The Residential Area designation on Schedule “B” is designed for lands within the Urban Area where the predominant use of land is, or is intended to be, a mix of low and medium density residential development.”

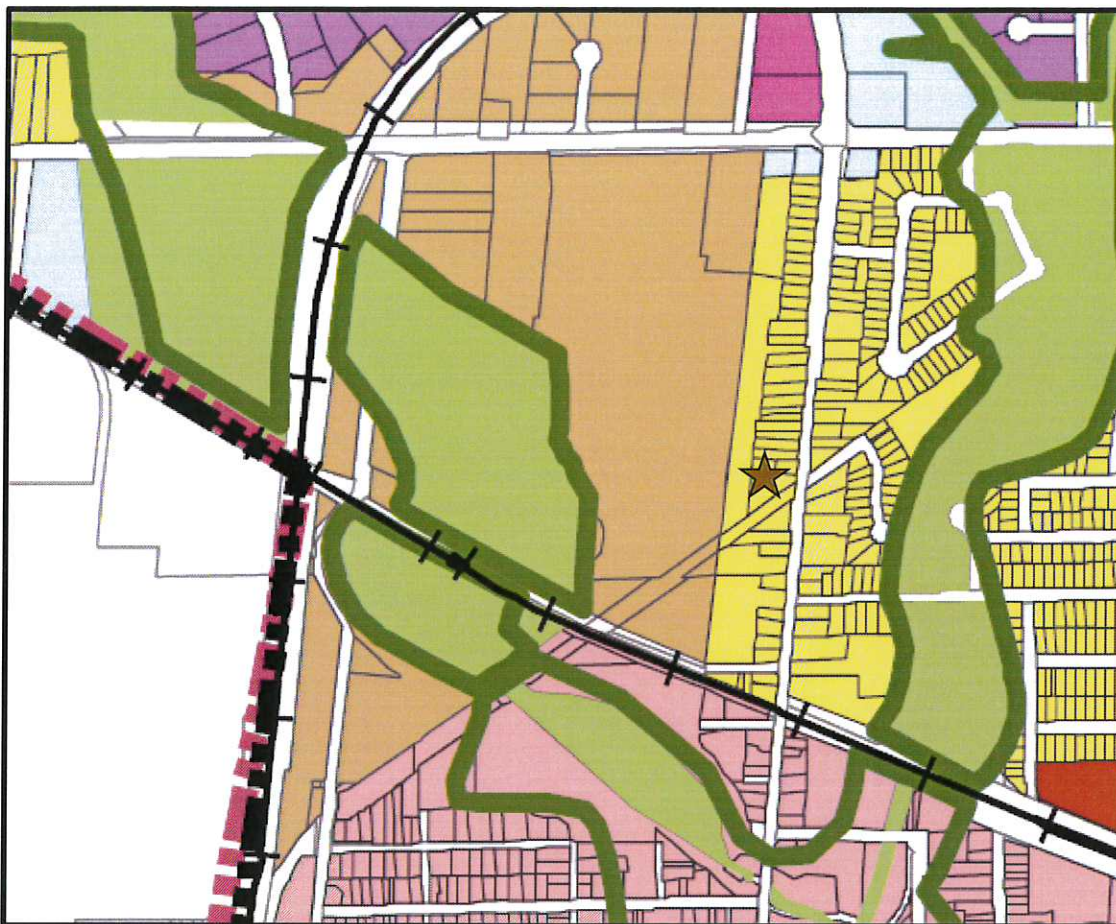


Figure 2 – Extract from Schedule B to the OP - Location of Subject Lands ★

Subsection 3.2.1.2 states that infill residential development in the Existing Urban Area “shall generally be compatible to the established land use pattern in terms of unit type, lot area and building size and design, while recognizing flood susceptibility in the urban core.”

The established unit type in the subject area is single-detached dwellings along both sides of Martin Street. The subject lands could potentially be redeveloped with a public road and single-detached dwellings however, in our opinion, the irregular shape and size of the subject land does not lend itself to the introduction of a public road and this form of development would not be an efficient use of the subject lands. It is our opinion that a townhouse redevelopment is compatible and appropriate.

Subsection 3.2.1.3 of the OP states:

“Where conformity is not feasible or practical due to small lot size, lot configuration, inability to physically accommodate a public road or other similar factor, other forms of housing may be considered provided that:

- a) the scale of the project is compatible with surrounding area in respect of height;
- b) densities are compatible to the surrounding areas; and
- c) the Community-wide policies of Section 2.0 of this Plan are met.”

The proposed townhouse units have been designed with a height of 11.0 metres, which is, in our opinion, compatible with the surrounding area with respect to height. The proposed density is 45.4 units per hectare. This density is higher than 35 units per net hectare, which is the maximum permitted for development categorized as Medium Density Residential I, but considerably lower than 70 units per net hectare being the maximum permitted for development categorized as Medium Density Residential II. Both Medium Density Residential I and II uses are permitted in the Residential Area designation. In our opinion, the proposed density is compatible with the surrounding area as it is separated from the lower density residential development on the east side of Martin Street.

Subsection 3.2.3.2 of the OP contains policies for applications for development of residential uses in the Medium Density Residential II category. Such developments are evaluated based on the following criteria:

- a) Site:
 - i) The area of the site allows for integration of the proposed medium density development with adjacent medium and low density development;
 - ii) The area of the site provides for adequate buffering for any adjacent low density residential uses or there is, or will be, medium density residential development to provide a transition between the proposed development and adjacent low density uses; and,
 - iii) The area of the site is sufficient to provide appropriate on-site recreation amenities and adequate parking facilities.
- b) Location:
 - i) The site is generally located so that the development is well integrated with adjacent medium density I and low density development and a gradation in densities between uses is generally achieved; and,
 - ii) The site is in proximity to a park, natural area, public transit use, local institutional or local commercial facilities.

c) Height:

- i) The height of the buildings does not exceed four storeys; and,
- ii) The height or bulk of the proposal will not unduly overshadow adjacent low and medium residential uses. Shadow studies may be required from the applicant to satisfy this criteria.

d) Services:

On-site or local park, institutional and commercial facilities provide or can be expanded to provide an adequate level of service for the development.

e) Existing Urban Area:

New Medium Density Residential II development in the Residential Area designation in the Existing Urban Area on Schedule "B" will require an Official Plan and/or Zoning By-law amendment, and submission of a detailed development plan, and any further studies deemed necessary by the Town, demonstrating the relationship between the proposed development and the existing development in the surrounding area to allow the Town to evaluate the compatibility of the proposed use with existing development."

The size of the subject lands does provide areas for adequate buffering for the adjacent low density development to the north. The height does not exceed four storeys and the subject lands are located in proximity to parks and trails, as well as schools and commercial facilities in the nearby Central Business District. The required studies have been submitted to support the proposed redevelopment.

We have reviewed the Community-wide goals, objectives and policies contained within Section 2.0 of the OP and conclude that the proposed townhouse development conforms thereto.

OPA 31

On June 14, 2010, Town Council adopted OPA 31, being an amendment to bring the Town's OP into conformity with the Growth Plan and the Sustainable Halton Plan (ROPA 38). OPA 31 is before the Region of Halton for approval. We have been advised that the Region is actively working on reviewing and proposing modifications to OPA 31. The Region will be forwarding a letter to the Town which outlines proposed modifications to the amendment and the letter will request endorsement by Town Council. To date, we are not aware of receipt of a letter from the Region regarding proposed modifications to OPA 31.

Schedule '21' to OPA 31 (Schedule C.2.B to the OP – Milton 401 Industrial/Business Park Secondary Plan) shows the subject lands designated Residential Area and the lands to the west designated Business Park Area. All lands west of Martin Street and south of Steeles Avenue are hatched in red indicating a Special Study Area (see Figure 3 below).

OPA 31 adds a new Section C.2.5.12 to the 401 Industrial/Business Park Secondary Plan which reads:

"The "Special Study Area" designation for the area bound by Steeles Avenue, Martin Street, the CP Rail line and the CN Rail line on Schedule C.2.B is an overlay designation. The lands in this Special Study Area, with the exception of the Natural Heritage Area and the Residential Area along Martin Street, have been identified as an Intensification Area on Schedule K to this Plan.

Development applications in this area shall be considered premature until the required study is completed.

Further study is required with respect to land use, transportation, servicing and environmental issues prior to redevelopment. Consideration of the introduction of any non-employment uses shall require the completion of a municipal comprehensive review and amendment to this Plan."

In our opinion, redevelopment of the subject lands is not tied to the requirement for a study of the vacant employment lands to the west. While the subject lands are not included in the proposed large Intensification Area to the west, the subject lands are not precluded from intensification, as per Subsections 3.2.1.2 and 3.2.1.3 of the approved OP in effect, referred to above.



Figure 3 – Extract from Schedule '21' to OPA 31 – Land Use Plan – Milton 401 Industrial/Business Park Secondary Plan (Schedule C.2.B)

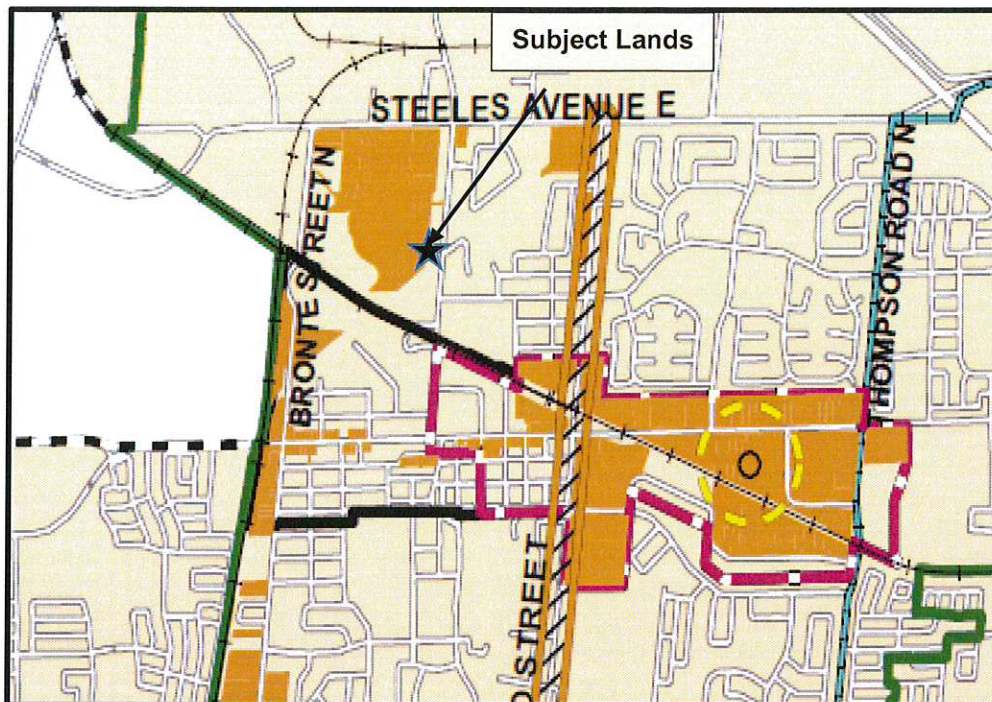


Figure 4 – Extract from Schedule ‘14’ to OPA 31 – Intensification Areas – Schedule K

The OP Residential Intensification policies have been amended by OPA 31. Subsection 3.2.1.2 has been revised to read:

- “3.2.1.2 *Intensification* within the “Residential Area” designation is encouraged within the *built-up* area and is generally directed to the *intensification areas* and to nodes and corridors as identified on Schedule “K.” (See Figure 4 above)

Subsection 3.2.1.3 states that residential intensification outside of intensification areas will generally occur through infilling to maintain and protect the character of the neighbourhood.

Subsection 3.2.1.6 states that infill residential development proposing other forms of housing may be considered provided that:

- “a) the bulk, scale, massing and height of the project is *compatible* with the surrounding area;
- b) setbacks, building orientation and separation distances are consistent with the surrounding neighbourhood;

- c) densities are compatible with the surrounding area; and
- d) the Community-wide policies of Section 2.0 of this Plan are met.”

In our opinion, the adjacent, established neighbourhood character has been respected in terms of height, massing and building setbacks proposed. While townhouses are not prevalent in the immediate area, the site is located on the west side of Martin Street and buffered by a grassy area (trail) on the south side of the subject lands and townhouses represent a reasonable, ground-related built form.

The proposed development will not cause traffic hazards or an unacceptable level of congestion on surrounding roads, as established by the Traffic Opinion Letter prepared by Crozier & Associates, Consulting Engineers dated February 27, 2017. The subject lands are well served by school, parks and trails.

Town of Milton Zoning By-law 016-2014

Town of Milton Zoning By-law 016-2014, as amended, zones the subject lands Low Density Residential (RLD) (see Figure 5 below). The RLD Zone does not permit townhouse dwellings. Both medium density residential zones, RMD1 and RMD2 permit townhouse dwellings.

It is proposed to rezone the subject lands RMD2, with modifications to some of the standard regulations. While a draft plan of condominium is not being submitted concurrently, in all likelihood the proposed townhouse development will become a common element condominium. Therefore, we have reviewed the regulation in Table 6D of the Zoning By-law pertaining to townhouse dwellings.

The Zoning Chart on the Site Plan (Appendix 1) shows a proposed RMD1 Zone. In our opinion the proposed zone should be RMD2 based on the Medium Density II Official Plan category, i.e. density greater than 35 units per net hectare at 45 units per net hectare. The RMD1 and RMD2 zone regulations are very similar however they only apply to multiple, quattroplex and triplex dwellings. The RMD2 Zone does have regulations for an apartment building.

Should a standard condominium development be proposed, the regulations that apply are shown in Table 1 below.

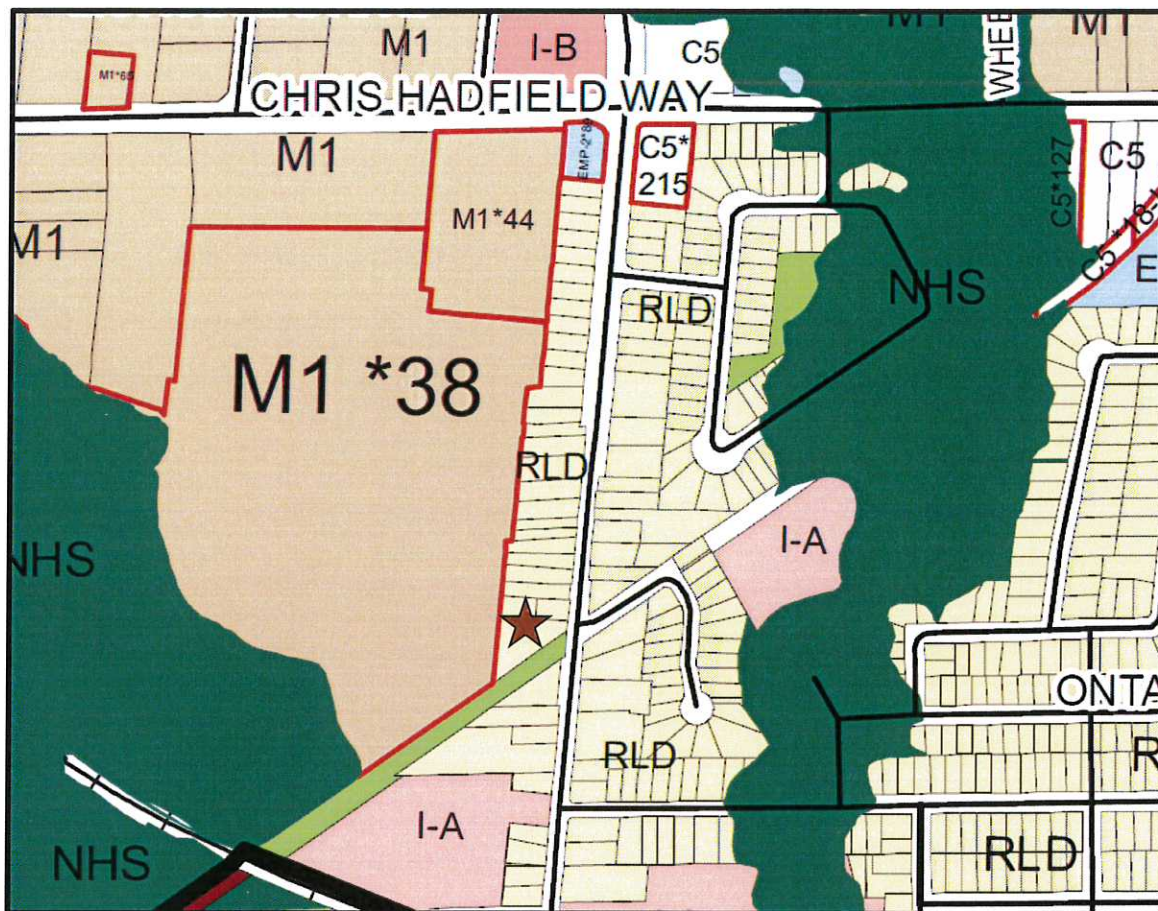


Figure 5 – Extract from Zoning By-law Maps - Subject Lands ★

Table 1 – RMD2 Zone Regulations for Standard Condominium

Townhouse Dwelling	RMD2 Zone	Proposal	Compliance
Lot Frontage	30.0 m	31.85 m	Yes
Lot Depth	35.0 m	70.06 m	Yes
Front Yard Setback	4.0 m	9.94 m	Yes
Interior Yard Setback	6.0 m	Units 3-5 – 5.74 – 5.80 m Unit 8 – 3.05 m Unit 19 - 2.65 m	No - Modification
Rear Yard Setback	7.5 m	5.01 m	No – Modification
Building Height	4 storeys to a maximum of 16.5 m	11.0 m	Yes
Landscaped Open Space	35%	48%	Yes
Parking	2.0 parking spaces per unit plus 0.25 parking spaces for	43 spaces	Yes

	visitor in a designated visitor parking area $19 \text{ units} \times 2.0 = 38$ spaces $19 \times 0.25 = 5$ spaces Total = 43		
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The proposed redevelopment conforms to the RMD2 Zone regulations, should townhouse dwellings be added as a permitted use, with the exception of the interior side yards and the rear yard.

The minimum required interior side yard setback is 6.0 metres. Along the north property line, abutting the existing single-detached dwelling, at a minimum the setback is 3.05 metres (proposed Unit 6) and increases to 5.8 metres (proposed Unit 3). Units 1 and 2, proposed within the existing dwelling are setback more than 6.0 metres. In our opinion, the modifications required for Units 3-5 are very minor in nature and do not create undue impact on the abutting property to the north. The 3.05 metre minimum interior side yard setback to the north is located at the rear of the subject lands and adjoins the rear portion of the rear yard of the dwelling to the north. In our opinion, the private amenity area of the dwelling to the north is not adversely impacted.

Units 16, 17 and 18, at the south end of the subject lands, are setback more than the required 6.0 metre minimum. However, Unit 19 does have a minimum setback of 2.65 metres along the diagonal interior (south) property line. The land use to the south is a small residential apartment building and the associated parking area for this apartment building adjoins the subject lands. The reduced interior side yard setback, will not, in our opinion, negatively impact the land use to the south.

The minimum required rear yard setback is 7.5 metres and the minimum rear yard setback proposed is 5.01 metres. Given the configuration of the subject lands, providing a 7.5 metre rear yard would not result in an efficient redevelopment and would compromise the provision of an adequate number of visitor parking spaces and other common areas.

In the event that the proposed townhouse development has a common element condominium tenure, we have reviewed the applicable townhouse regulations in Table 6D of the Zoning By-law.

Table 2 – Common Element Condominium Zoning Regulations

Townhouse	RMD2 Zone		Proposal		Compliance
	Interior Unit	End Unit	Interior Unit	End Unit	
Lot Frontage (Minimum)	5.5 m	6.7 m	5.31	6.5 (Unit 17)	No - Modification
Lot Depth (Minimum)	24.0	24.0	20.0	20.0 m	No - Modification
Front Yard (Minimum)	2.0 m	2.0 m	4.5 m	4.5 m	Yes
Interior Side Yard Setback (Minimum)	0.0 m	1.2 m	0.0 m	1.19 m	Yes
Rear Yard (Minimum)	7.0	7.0	5.0 m	5.0 m	No - Modification
Building Height (Maximum)	12.5 m	12.5 m	11.0 m	11.0 m	Yes
Landscaped Open Space (Minimum)	No Min.	No Min.	No Min.	No Min.	N/A
Parking	2.0 parking spaces per unit plus 0.25 parking spaces for visitor in a designated visitor parking area 19 units x 2.0 = 38 spaces 19 x 0.25 = 5 spaces Total = 43		2.0 parking spaces per unit plus 0.25 parking spaces for visitor in a designated visitor parking area 19 units x 2.0 = 38 spaces 19 x 0.25 = 5 spaces Total = 43		Yes

The lot frontage (width of the townhouse parcel of tied land) for both the interior and end units is slightly less than the Zoning By-law regulations, being 5.31 metres rather than the required 5.5 metres for interior units; and 6.5 metres rather than the required 6.7 metres for an end unit. The depth of the proposed parcels of tied land are approximately 20 metres whereas 24 metres is required. A modification to the rear yard is also required to recognize the reduction from 7.0 metres to 5.0 metres, as discussed above.

Appendix 2 is a draft Zoning By-law Amendment based on a common element condominium tenure. During processing of the subject rezoning application, the owner will decide upon the tenure and the draft Zoning By-law Amendment can be revised accordingly.

Technical Reports

Servicing Strategy Brief and Preliminary Stormwater Management Brief

The servicing briefs were prepared by Meritech and are dated December 15, 2016.

A 300mm diameter watermain is located in Martin Street. A 150mm diameter service will be extended within the proposed site access to the proposed hydrant. Each unit will be metered separately and require individual connections.

A 200mm diameter sanitary sewer is located in Martin Street. A 150mm diameter connection will service the buildings through individual service connections. The buildings are not proposed to have basements therefore the depth of the internal sanitary sewer is not a concern.

A 450mm diameter storm sewer exists in Martin Street. The internal storm sewers will be connected to the existing manhole near the northeast corner of the site. Runoff will be conveyed to an oil/grit separator, sized as a Hydroworks model HG4.

Hydro, Bell, Rogers and Gas utilities are available to service the site.

Traffic Opinion Letter

A Traffic Opinion Letter was prepared by Crozier & Associates, Consulting Engineers dated February 27, 2017. The letter reviews the existing traffic operations at the intersection of Martin Street at Caves Court; trips generated by the proposed development; traffic operations at the intersection to 2022; and safety at the site access.

Martin Street is a Collector road, with sidewalks on both sides of the road. The three-legged intersection of Martin Street and Caves Court is one-way stop-controlled.

Crozier & Associates reviewed the *Revised Traffic Impact Assessment for the Proposed Expansion to the Martin Street Public School* (184 Martin Street) prepared by GHD dated June 22, 2016 as well as the *405 Martin Street Traffic Impact Study* prepared by IBI dated December 2014.

The proposed site access to Martin Street creates a fourth leg to the Martin Street/Caves Court intersection. Crozier & Associates concludes that no sightline issues exist and there are no issues related to corner clearances, access conflicts, heavy truck movements and no transit operational conflicts were identified.

The proposed development is projected to generate a total of nine (9) trips during the weekday a.m. peak hour and ten (10) trips during the weekday p.m. peak hour. As such, the site has a negligible impact on the Level of Service of the boundary road network.

Phase One and Phase Two Environmental Site Assessments ("ESA")

Toronto Inspection Ltd. ("TIL") has prepared a Draft Phase One ESA and is in the process of preparing a Phase Two ESA. Both reports will be submitted in the near future.

Conclusions/Recommendation

The rezoning of the subject property to a modified RMD2 Zone to facilitate the construction of seventeen (17) new townhouse units and two (2) new units within a modified single-detached dwelling is appropriate and represents good planning. The proposed development represents infill/intensification within the existing built-up area of the Town. The scale and height of the proposed townhouse development is compatible with the surrounding area.

The rezoning is consistent with the PPS and in conformity with the Provincial Growth Plan, Regional Plan and the Town of Milton OP. From a technical perspective, the proposed townhouse development does not raise any issues with respect to servicing, parking or traffic. A Phase One and Phase Two ESA will be submitted shortly to address the issue of potential site contamination and remediation.

It is recommended that Town Council approve the subject rezoning application.

Yours truly,

WELLINGS PLANNING CONSULTANTS INC.

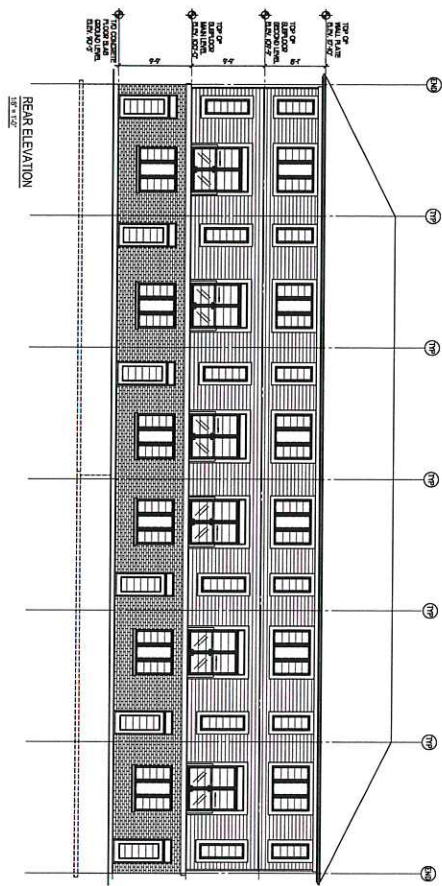

Nancy Friedday, MCIP RPP


Glenn Wellings, MCIP RPP

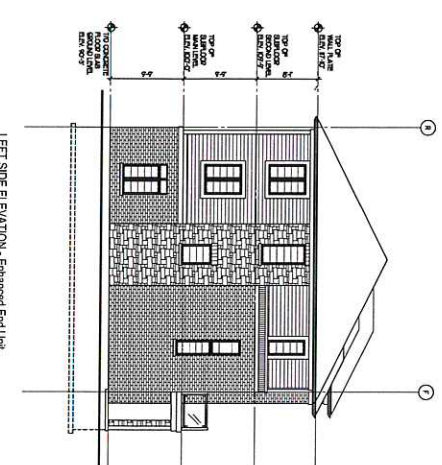
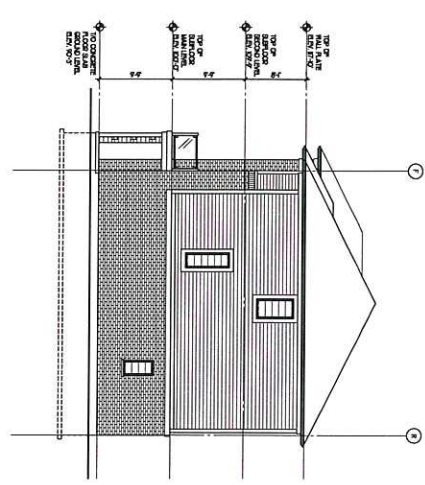




ZONING FIELD TO RM-1-L (BLOCKS 19 UNITS)		
REGULATION	REQUIRED	PROPOSED
LOT AREA	—	6,191.57 sq.m/6,649 sq.m
LOT WIDTH (minimum)	30.0 m	31.95 m
LOT DEPTH (minimum)	30.0 m	79.08 m
FRONT YARD (minimum)	4.0 m	9.84 m
REAR YARD (minimum)	8.0 m	2.65 m (0.04 1/2)
SIDE YARD (minimum)	12.0 m	*5.01 m
MAXIMUM LOT COVERAGE	12.5%	11.8 m
MAXIMUM COVERED AREA (maximum)	3,638 sq.m	2,012.88 sq.m (64,000 sq.ft)
MAXIMUM COVERED AREA PER LOT (maximum)	3,638 sq.m	3,638 sq.m
MAXIMUM COVERED AREA PER LOT (minimum)	3,638 sq.m	3,638 sq.m
MAXIMUM COVERED AREA PER LOT (average)	3,638 sq.m	3,638 sq.m
TOTAL	— 43 stories	15 stories



FRONT ELEVATION
1/8"=1'-0"



LEFT SIDE ELEVATION - Enhanced End Unit
1/8"=1'-0"

A2.1	PROJECT MARTIN STREET TOWNHOMES 250 MARTIN STREET MILTON, ONTARIO	STATUS OWNER: 250 MARTIN FILE: 250 MARTIN ELEVATIONS SCALE: 1/8"=1'-0" DRAWN BY: KHR DATE: JANUARY 2017	REVISIONS NO. DESCRIPTION DATE		1. I am responsible for the design work on behalf of my firm Orchard Design Inc. I am a registered professional under the Ontario Building Code Act, 1992, and the firm is registered in the appropriate licensing jurisdiction. Form BCP-1, 2013 revised 2015 Signed: <i>KHR</i> KARL H. REYNOLDS ARCHITECT ORCHARD DESIGN INC. MILTON, ONTARIO
	FILE: EXTERIOR ELEVATIONS	REVISIONS			

DRAFT ZONING BY-LAW AMENDMENT
THE CORPORATION OF THE TOWN OF MILTON
BY-LAW NUMBER XXX-2016

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT, AS AMENDED, IN RESPECT OF THE LANDS DESCRIBED AS 248 and 250 MARTIN STREET, FILE; Z-xx/17

WHEREAS the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended;

AND WHEREAS the Town of Milton Official Plan provides for the lands affected by this by-law to be zoned as set forth in this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Milton hereby enacts as follows:

1. **THAT** Schedule A to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing the existing Residential Low Density (RLD) Zone Symbol to a site-specific Residential Medium Density (RMD2*XXX) Zone Symbol on the lands shown on Schedule A attached hereto.
2. **THAT** Section 13.1.1 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding subsection 13.1.1.xxx to read as follows:

Notwithstanding any provisions of the By-law to the contrary, for lands zoned site-specific Residential Medium Density (RMD2*XXX), the following standards and provisions shall apply:

- a) Notwithstanding Section 6, Residential Zones, Subsection 6.2, Table 6D, the minimum lot frontage for an interior unit shall be 5.3 metres;
- b) Notwithstanding Section 6, Residential Zones, Subsection 6.2, Table 6D, the minimum lot frontage for an end unit shall be 6.5 metres;

- c) Notwithstanding Section 6, Residential Zones, Subsection 6.2, Table 6D, the minimum lot depth for interior and end units shall be 20.0 metres;
- d) Notwithstanding Section 6, Residential Zones, Subsection 6.2, Table 6D, the minimum front yard setback for interior and end units shall be 4.5 metres; and,
- e) Notwithstanding Section 6, Residential Zones, Subsection 6.2, Table 6D, the minimum rear yard setback shall be 5.0 metres;

All other regulations of Zoning By-law 016-2014 shall apply.

3. **AND THAT** if no appeal is filed pursuant to Section 34(19) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, or if an appeal is filed and the Ontario Municipal Board dismisses the appeal, this by-law shall come into force on the day of its passing. If the Ontario Municipal Board amends the by-law pursuant to Section 34 (26) of the *Planning Act*, as amended, the part of parts so amended come into force upon the day the Board's Order is issued directing the amendment or amendments.

PASSED IN OPEN COUNCIL ON _____, 2017

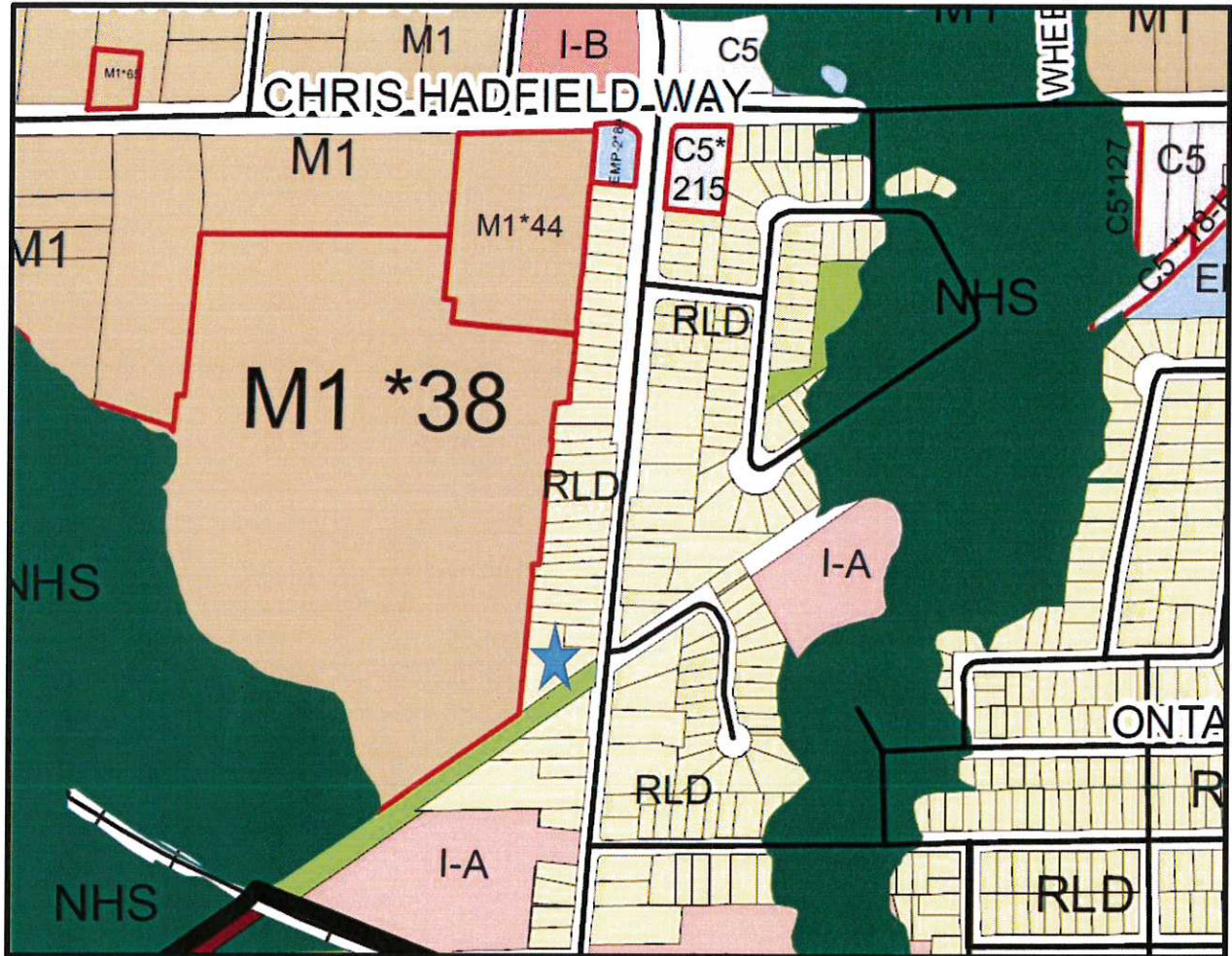
Gordon A. Krantz

Mayor

Troy McHarg

Town Clerk

SCHEDULE A
TO BY-LAW No. XXX-2017
TOWN OF MILTON
248 and 250 MARTIN STREET



THIS IS SCHEDULE A
TO BY-LAW NO. XXX-2017 PASSED
THIS _____ DAY OF _____, 2017.

MAYOR – Gordon A. Krantz



RMD2*XXX – Residential Medium Density 2 Special

CLERK – Troy McHarg